



JAMES GILLESPIE'S HIGH SCHOOL CONSERVATION PLAN

DRAFT REPORT

03 December 2010

Prepared for The City of Edinburgh Council

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**into the significance of the site and how it
should be managed in order to conserve its
cultural significance.**

03 December 2010

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1.0 INTRODUCTION

1.1 Background & Objectives

In 2006 the City of Edinburgh Council (CEC) set out its intention to build five replacement schools in the city, of which James Gillespie's High School was one. In February 2010 the project was included in the CEC's Capital Investment Programme 2010-14. The project was also included in the Scottish Government's Schools Building Programme, which is managed by the Scottish Futures Trust. Proposals for the new school currently have funding to be progressed to stage D by JM Architects (JMA). In September 2010, CEC commissioned Smith Scott Mullan Associates (SSM) to prepare a Conservation Plan for James Gillespie's High School. The purpose of the report is to review the areas of potential demolition and retention on the site. It will also advise the planning department and Historic Scotland (HS) on the historic value of the site and inform future developments.

This analysis starts with an audit of the historic evolution of the site based on archive research and study of maps and similar documents. Focus will then move to include a review of all buildings and boundary walls on the site. This will allow them to be graded in relation of significance to allow them to be prioritised in terms of architectural merit and their contribution to the site as a whole. A visual inspection of the buildings will allow any works to be categorised and prioritised to highlight areas of concern worthy of further investigation into condition.

In terms of context the site is approximately 14,500m² and is located at 57 Lauderdale Street, Edinburgh, EH9 1DD. It is within the Marchmont, Meadows and Bruntsfield Conservation Area of the city. It contains not only the High School, but also James Gillespie's Nursery and Primary Schools, along with the provision of an outdoor pitch. The buildings are located within a self contained site primarily enclosed by a high boundary wall, forming its own block within the urban layout of the area. It is bounded on three sides by a mixture of residential streets and open green public space. The fourth side bounds against the gardens and walls of neighbouring tenements. The school is focused around the historic Bruntsfield House, which sits at the centre of the site. This building dates from the late 16th century. The remainder of the school is a series of 1960's buildings, with some later additions, set within the wooded landscape of the site. The site has been in the ownership of CEC since 1930's and the school has been a co-educational comprehensive since 1973.

1.2 Authorship of Conservation Plan

This Conservation Plan was written in September 2010 by Smith Scott Mullan Associates. The project team was Rachel Simmonds and Michael Cooke.

1.3 Acknowledgements

Smith Scott Mullan Associates acknowledge the assistance provided by the Royal Commission for Ancient and Historic Monuments of Scotland, Historic Scotland, City of Edinburgh Libraries, James Gillespie's High School, JM Architects, Will Rudd Davidson, Brindley Associates, Thomas and Adamson, Edinburgh City Archives and the National Libraries of Scotland in obtaining the research material for this plan.



2.0 EXECUTIVE SUMMARY

CEC is proposing to build a new secondary school to replace the existing James Gillespie's High School. The purpose of this Conservation Plan is to evaluate the existing site and buildings and advise on areas of retention and demolition to allow the design team of the new school to fully consider its location as being the most suitable in terms of the site and the wider conservation area.

This plan concludes that the retention of Bruntsfield House is vital to maintaining the historic integrity of the site. Its setting should not be compromised and key views to it, across the site and from the wider conservation area, should be retained and enhanced. The original features of the interior of Bruntsfield House such as vaults, flagstones, corbels, decorative plasterwork, marble fireplaces, stone spiral stairs, ornate ceiling and cornices, raised and fielded doors, window panelling and shutters are significant in retaining the character of the building and should be conserved. The external balcony and railings should also be retained and repaired as necessary. The rest of the building has been adapted unsympathetically over the years and most notably by the insertion of two staircases to the north and west of the building. Consideration should be given to the reinterpretation of circulation within the building. Any changes should utilise materials more in keeping with the buildings age and style.

The existing boundary walls to the north, south, west and Whitehouse Loan driveway are significant to the character and history of the site and should be retained and repaired in their current configuration. The high section to the south of the east boundary is also worth retaining. The mature trees to the north boundary and lining the driveway from Whitehouse Loan, are significant to the setting of the site and need to be retained. The legacy of planting between buildings should also be considered in any future development to continue the landscape character of the site.

The 1960's high school buildings have been well considered in their positioning to create a variety of interconnected external spaces. The simple geometric form of these buildings, and the choice of external material helps blend them into the setting of the site, thus minimising their impact not just on the site but within the wider conservation area. These have been assessed by Historic Scotland who have informed that they do not have any special or historic interest. As such they can be considered for replacement. Consideration should be given to retaining a visual legacy from the 1960's development within the site. This could be a gesture in the nature of retaining something of visual significance, such as the clock face and relocating it within any future development. Demolition of these buildings will allow for redevelopment in areas to the north, east and south of the site around Bruntsfield House. The materials, setting out and height of any future development should respect the house in terms of colour, form and setting.

This report sets out the recommendations for future development of the site in the context of assessing them against significant existing and original features.



3.0 SITE

3.1 Summary

The site is located in the Marchmont area of the city and is bounded on three sides by streets and on one side by housing. Lauderdale Street and Warrender Park Road, to the east and north, are residential whilst Whitehouse Loan, to the west is a mixture of residential and open parkland. This green public space to the west is known as Bruntsfield Links. This 14.6 hectare site is the remainder of the ancient Burgh Muir which ran from Borough Loch to Blackford Hills. In the 18th century two golf clubs were established there, although there are claims that it was the site of Scotland's first golf course. In the centre of the site sits the Category A listed Bruntsfield House. The statutory listing description refers only to Bruntsfield House and notes that the 1960's school buildings are specifically not included in the listings. Further clarification on this was sought from Historic Scotland and in November 2010 they wrote to CEC confirming that following further consideration and consultation the post war buildings, dating to 1966, on the site did not meet the rigorous standards and criteria to merit being listed.

The Marchmont, Meadows and Bruntsfield Conservation Area was designated in January 1987 and had a Conservation Area Character Appraisal (CACA) approved by CEC Planning Committee on 18 May 2006 (with a later amendment on 28 September 2007). The Conservation Area focuses on the green open spaces of the Meadows and Bruntsfield Links, as well as the buildings that surround and define them. It makes mention of Bruntsfield House and notes the high coped rubble boundary wall that surrounds the site is a significant feature.

For further information on the CACA it can be read in its entirety by downloading it from the CEC website (www.edinburgh.gov.uk/caca)



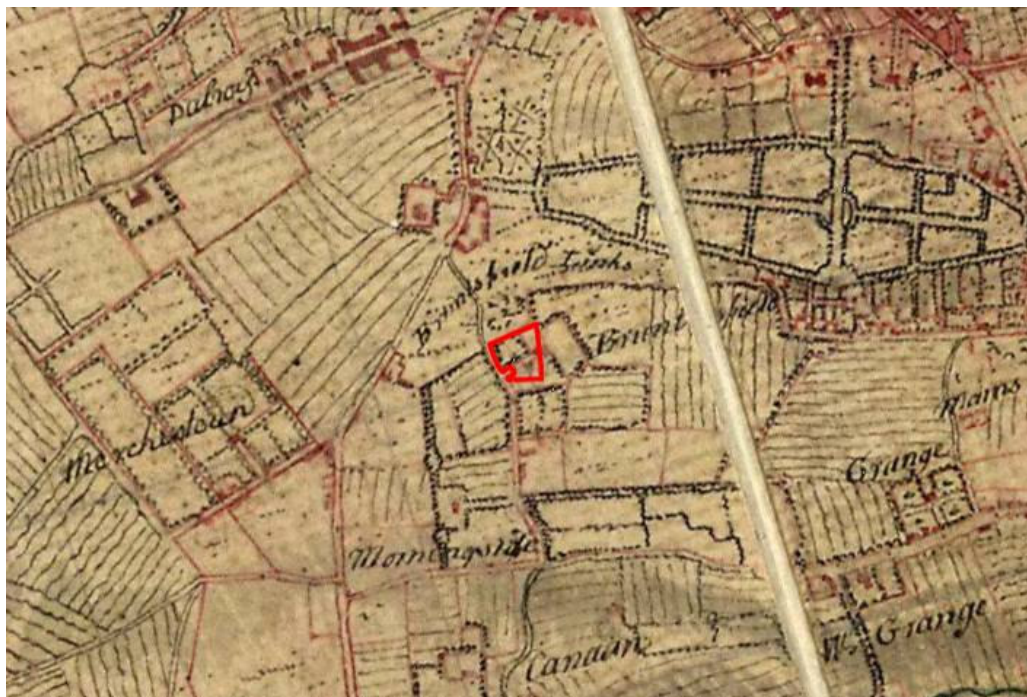
Aerial View showing site in context of conservation area



Current site plan of James Gillespie's High School

3.2 Historic Evolution of the Site

It is likely there was an estate at the centre of this site as far back as the early 12th century. The earliest recorded ownership of the area is by Richard Broune, who was King's Sergeant of the Burgh Muir in the late 14th century. His surname established the name of the area through various spelling changes from Brounisfield via Broutisfield to Bruntisfield and finally to its current form of Bruntsfield. On 04 June 1381, Robert II removed possession of the lands for the estate of Bruntsfield, via a granted charter, in favour of Alan de Lawdre. His descendants, the Lauders, retained ownership until 1603 when the estate passed to John Fairlie of Braid (except for a brief period in the 15th century when Henry Cant, whose family had owned nearby Grange House, took possession of it). In 1695 the estate was sold to Sir George Warrender of Lochend. There is note that Charles II presented the lands to the Landers of Houlton, which would tie in with it being in the ownership of the Lauders (or Landers) in the mid to late 17th century. John Adair's manuscript of 1682 shows the image of a house on the site. By 1747-55 the Royal Military Survey of Scotland maps indicate more of a wooded boundary to the estate.



1747-55 Royal Military Survey of Scotland map (current site boundary outlined in red) (copyright NLS)

In 1759, Robert Kirkwoods Ancient Plan clearly shows a tree lined driveway and formal gardens around the house. There is also a wider site boundary with trees encompassing three smaller buildings to the North West. It is also evident from this map just how much of the surrounding area was also in the possession of the Warrender family.

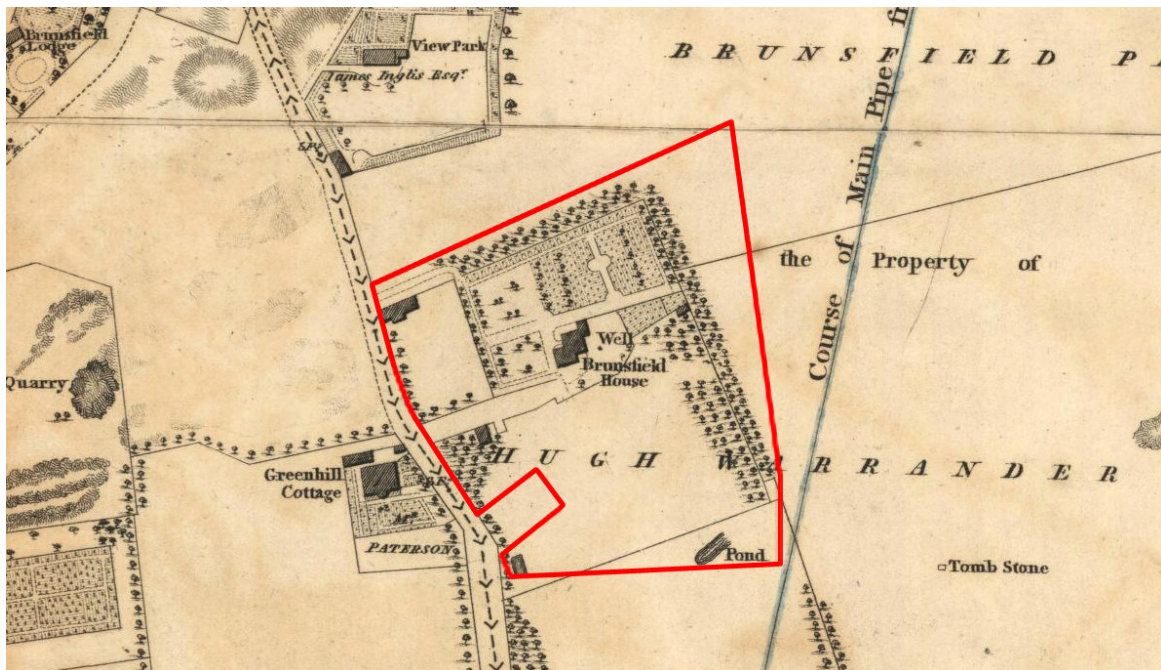


1759 – Robert Kirkwood's ancient plan (copyright NLS)

The 1812 Map of the Shire of Edinburgh returns to a more illustrative form and the house is referred to as Brounsfield Castle. A more accurate cartographic representation is found in Robert Kirkwood's 1817 map which details more formal gardens to the north, east and west of the house, along with a small building approximately halfway down the south side of the driveway. There is also a slightly larger building in the North West corner of the estate.

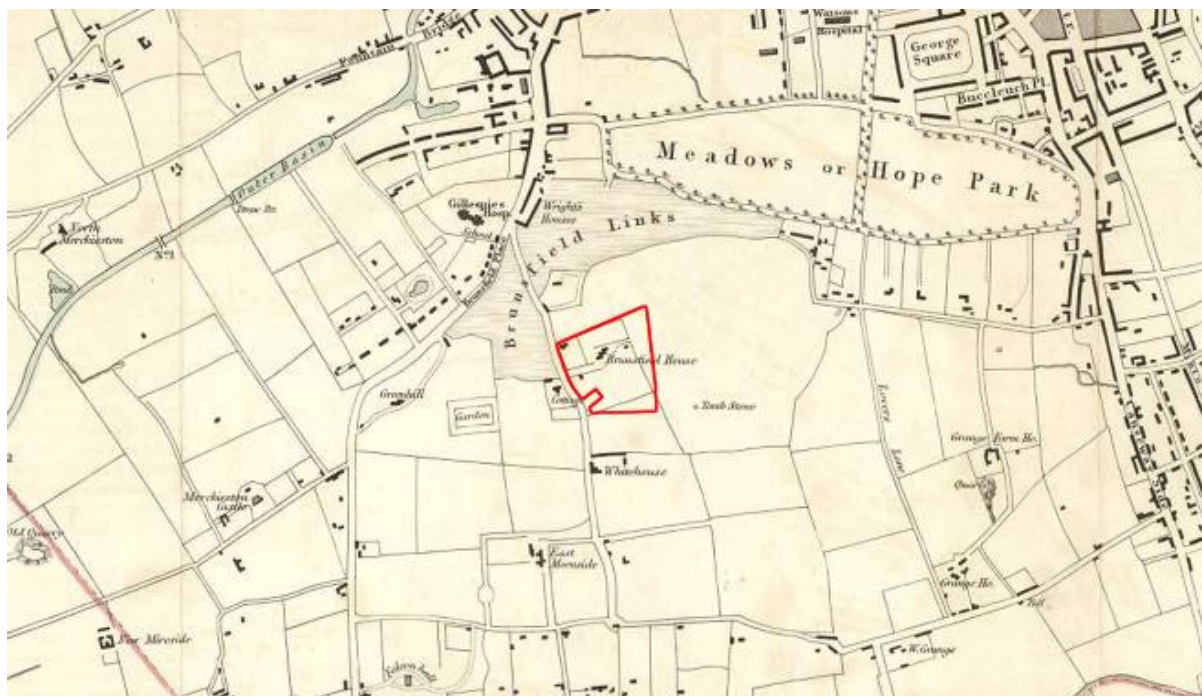


1812 – Map of the Shire of Edinburgh (copyright NLS)

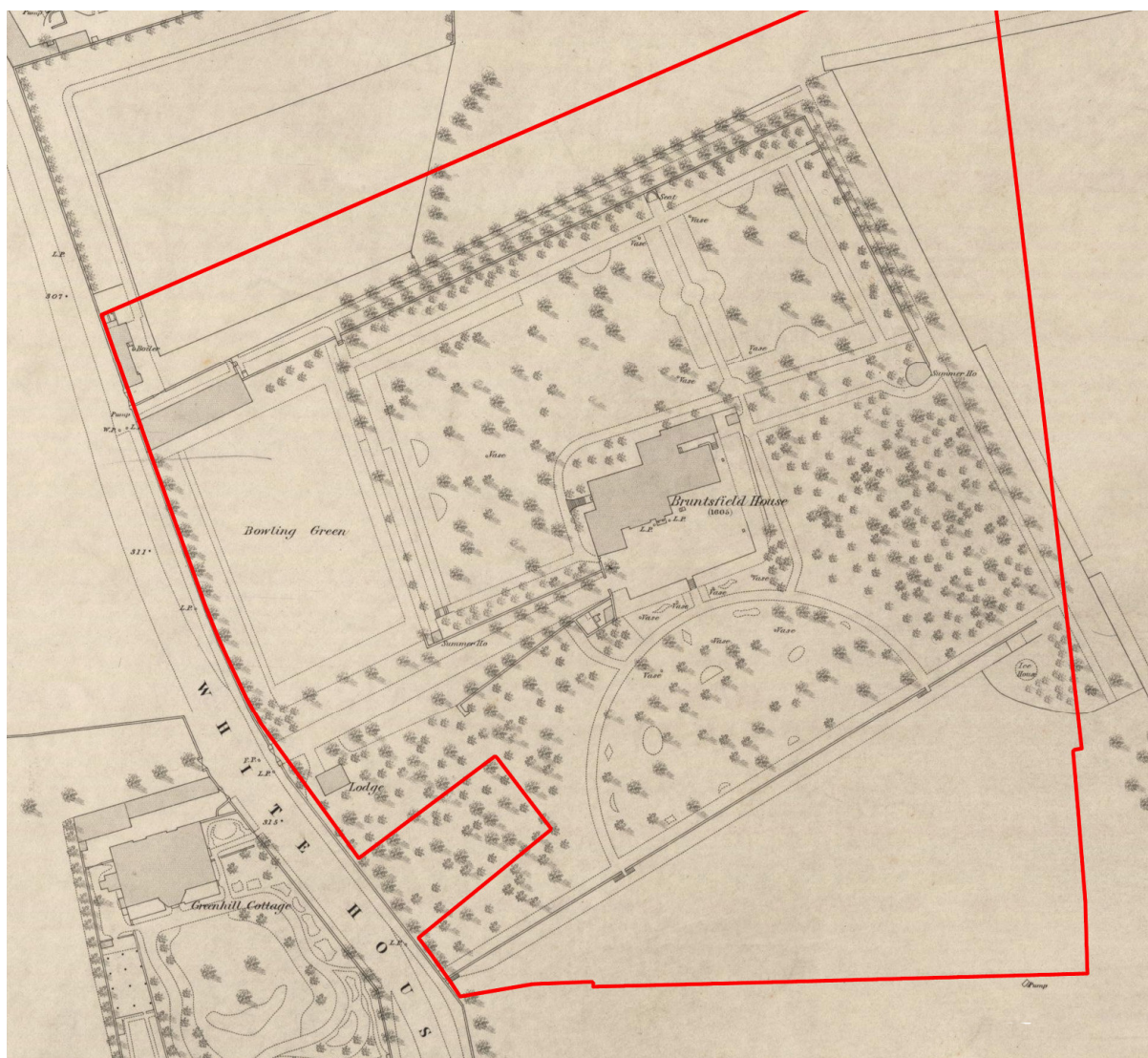


1817 Robert Kirkwood (copyright NLS)

The 1832 Great Reform Acts Plan, whilst not giving any detail of landscaping, shows the three buildings noted above along with a smaller one to the east. It is round in form and in the 1851 map is noted as a summer house. In addition the 1951 map shows the ice house, investigated during the 1960's redevelopment, located to the east of the semi-circular formal gardens. According to records held on Canmore, the ice house was situated about 100 yards from Bruntsfield House. It was entered from the north via a straight stone passage 8 ft long leads to a 10ft deep cup with a domed ceiling. Inside it is around 18ft high. The earthen mound was artificial and measured 15ft long and 67 yards around its base.



1832 – Great Reform Acts Plan (copyright NLS)



1851 OS map (copyright NLS)

On the 1851 map the building along the driveway has gone and been replaced by a small lodge nearer to the driveway entrance. The landscaping to the north east corner of the estate is noted as being a bowling green. In 1877 a small L-shaped building is seen for the first time in the far north west corner at the junction between Whitehouse Loan and Warrender Park Road. Whitehouse Loan has altered its position slightly and its realignment has meant that the lodge is now directly on the boundary wall. This lodge is now no longer there, although its entrance door and windows are still visible in the boundary wall today.



Photo of Ice House circa 1960 (copyright RCAHMS)



Remains of Lodge windows evident in boundary wall to Whitehouse Loan today

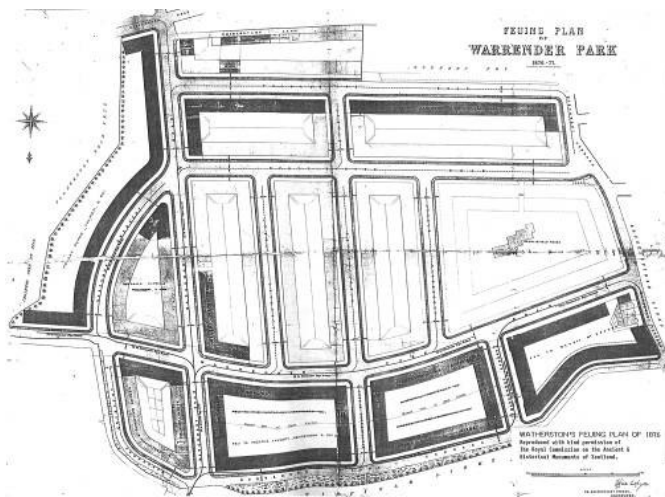
By 1894 there is a small bow fronted building, noted as a Sunday school, constructed to the north east corner of the site. This is also long demolished but it sat where the existing outdoor pitch is currently located. The lodge is clearly evident on the plan on the Whitehouse Loan boundary (both noted in red on 1892 map).



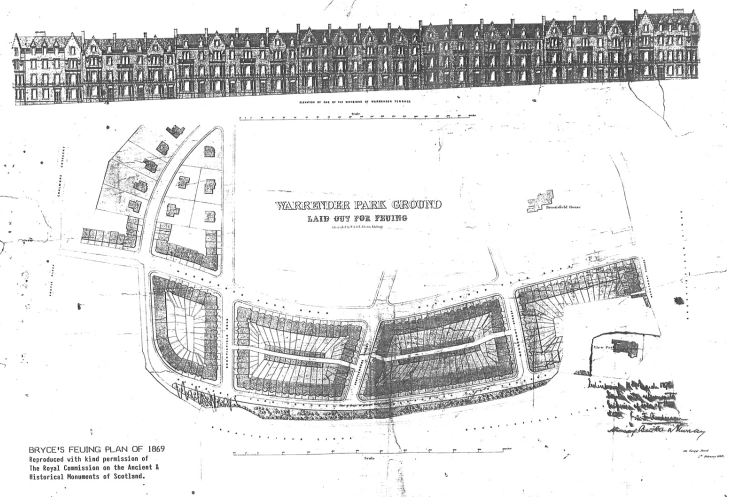
1894 – Map showing Sunday School and lodge (copyright NLS)

In the late 19th century the tenement housing around the site was beginning to be constructed. From the 1870's, Sir George Warrender began developing the surrounding land he owned into a middle class suburb. The first feuing plan was drawn up in 1869 by the architect David Bryce. His proposed layout involved the construction of mainly terraced villas, with large detached villas to Marchmont Crescent. However, in 1876 this plan was superseded by another feuing plan prepared by A Watherston and Sons, and only a few terraced houses from the Bryce plan were ever built. The Watherston plan was more comprehensive and proposed four or five storey tenements. Those built prior to 1900 conformed strictly to the feu charters which required the use of the Scottish Baronial style. Warrender Park Road was one of those. After 1900 the tenements in the surrounding streets were built in a more standardised style – Lauderdale Street being an example.

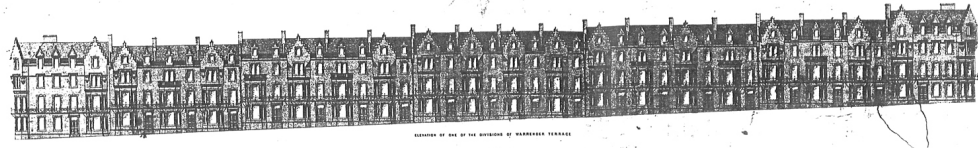
During this period of construction two notable features of historic interest, both located on the feud land, were removed. The first was a mound of earth on which it is said that James IV stood to review his Flodden forces. This feature, sitting in the vicinity of the eastern end of Spottiswoode Road, was completely destroyed. The second was a large flat tombstone which is said to have marked the burial place of a 'pest stricken scholar of medieval times'. This interesting memorial of the days of the plague was found in Spottiswoode Street and is now built into the garden wall of Bruntfield House. The last recorded inventory of this in 1975 noted that it had been considerably defaced. Its likely to date from around 1645 and was 6ft 6ins high and 3ft 3ins wide.



David Bryce Feuing Plan
(copyright RCAHMS)



A. Watherston and Sons Feuing Plan
(copyright RCAHMS)



Warrender Park Road Tenements
(copyright RCAHMS)

The site remains relatively unchanged in the 1904 and 1919 maps. By 1926 Lauderdale Street is under construction and the eastern boundary of the site has been realigned to address this. The Sunday school is no longer evident. The 1940 aerial photo shows the primary school constructed on the old bowling green, and the external boundary to the east walled but the land empty. At some point between 1946 and 1951 a section of the site to the south west was feued off and separated. Today there is an office building on this site.



1904 – Map (copyright NLS)



1919 – Map (copyright NLS)



1926 – Map (Copyright NLS)



1940 – Aerial view of site (copyright NLS)

In January 1987, and by a further amendment in 2007, the importance of the area was recognised by the designation of it as a Conservation Area. This included the approval of the Marchmont, Meadows and Bruntsfield Conservation Area Character Appraisal in May 2006, by CEC Planning Committee. The buildings that surround it, with the exception of the low tenement block to the north end of Lauderdale Street, are stone buildings of elegant proportions that utilise large areas of glazing to reduce their monumentality. Although the style of architecture of the tenements varies between streets, the overall area reads as a united whole. Key to making this area unique in the city is the parkland setting of which the grounds of James Gillespie's High School contribute. In relation to the site and Bruntsfield House it notes:

"Bruntsfield House, which is incorporated in James Gillespie's School, is one of the oldest mansions in the city. It dates from the late 16th century with later additions and alterations. A number of features associated with Scottish Baronial Architecture – steeply pitched crowstepped gables, carved ornaments, stair towers and pedimented and finialled dormerheads – are incorporated in its design. The house and James Gillespie's School are surrounded by a high coped rubble boundary wall which is a significant feature at the west end of Warrender Park Road."

It summarises that those aspects that are essential to the architectural character of the area are well proportioned tenements planned in long blocks that take advantage of the gently sloping site and the distinctive Scottish Baronial style that is the principal architectural form.

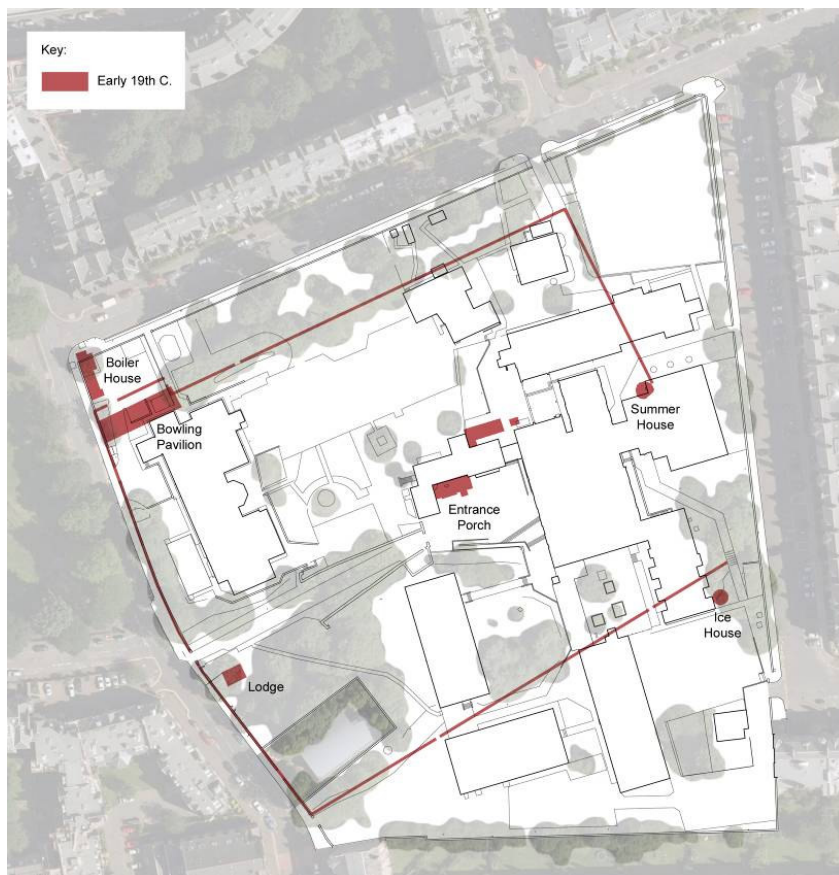
This historic evolution of the site can be clearly seen in the following sequential diagrams showing changes from the late 16th century to the late 20th century.



Pre 17th Century Buildings



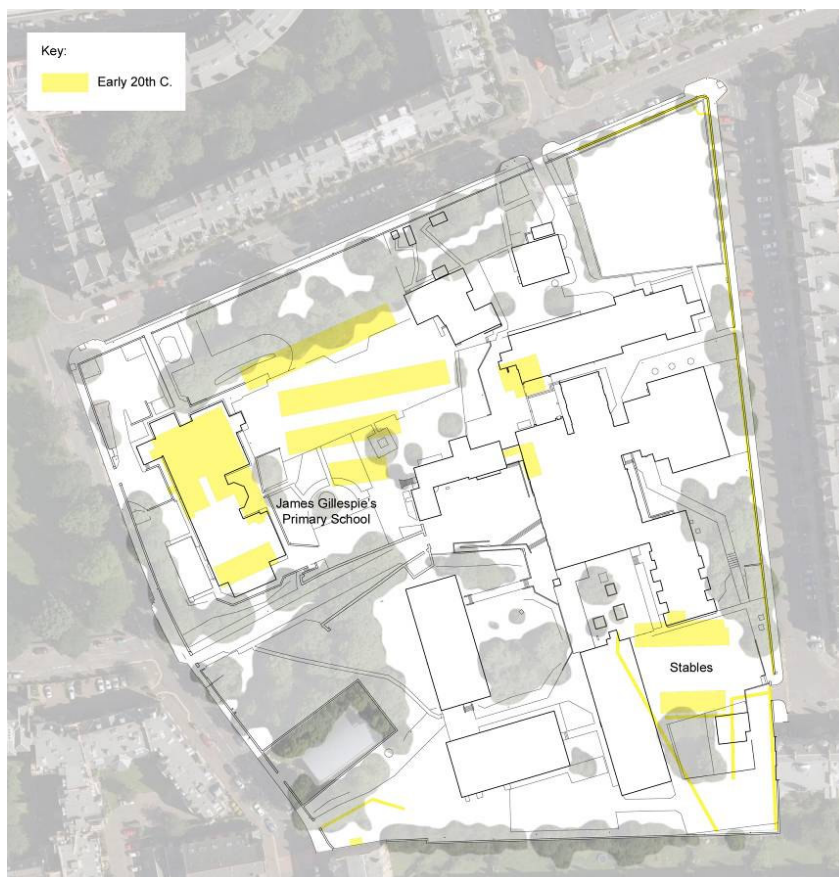
Early 17th Century Buildings



Early 19th Century Buildings



Late 19th Century Buildings



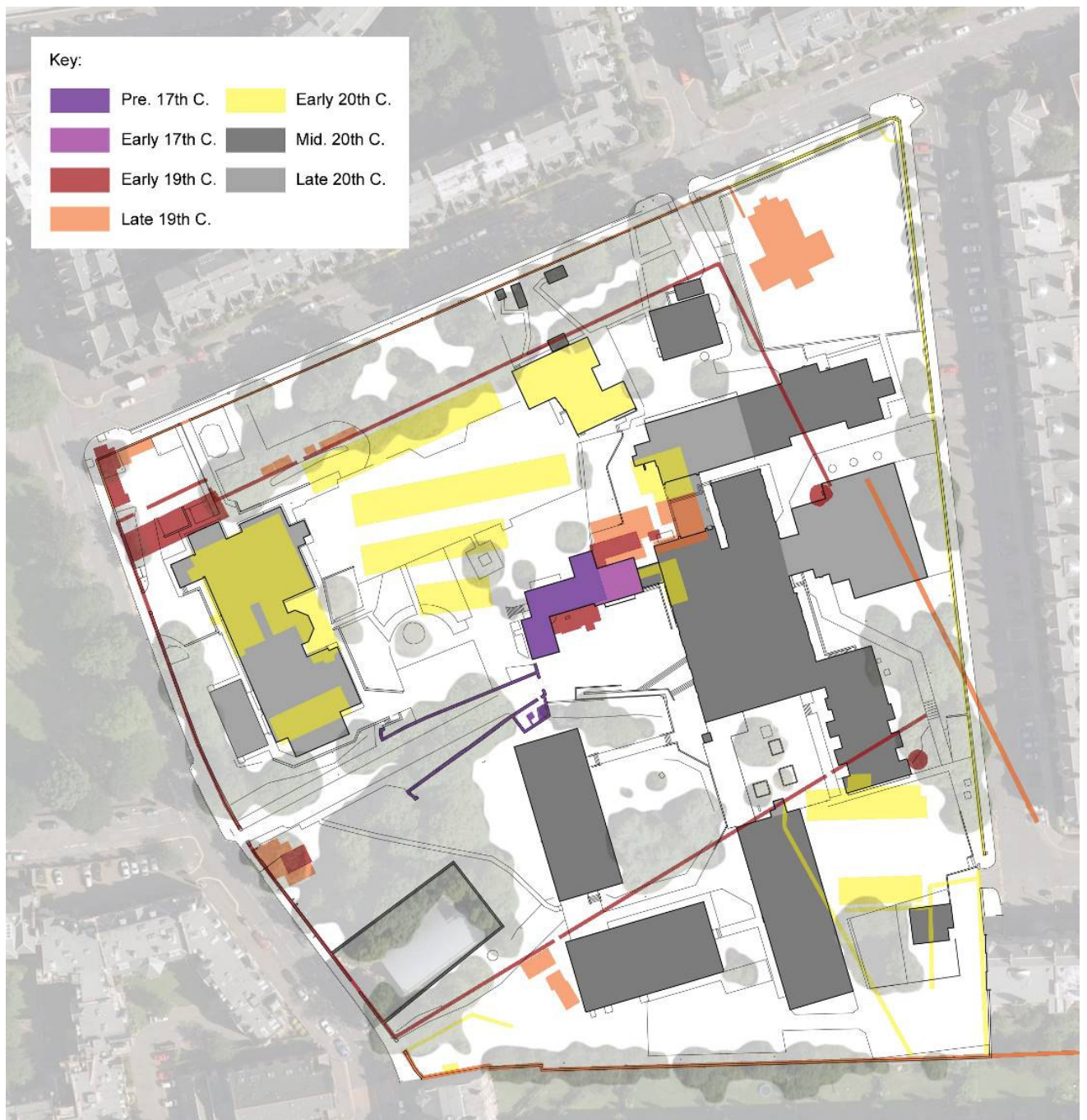
Early 20th Century Buildings



Mid 20th Century Buildings



Late 20th Century Buildings



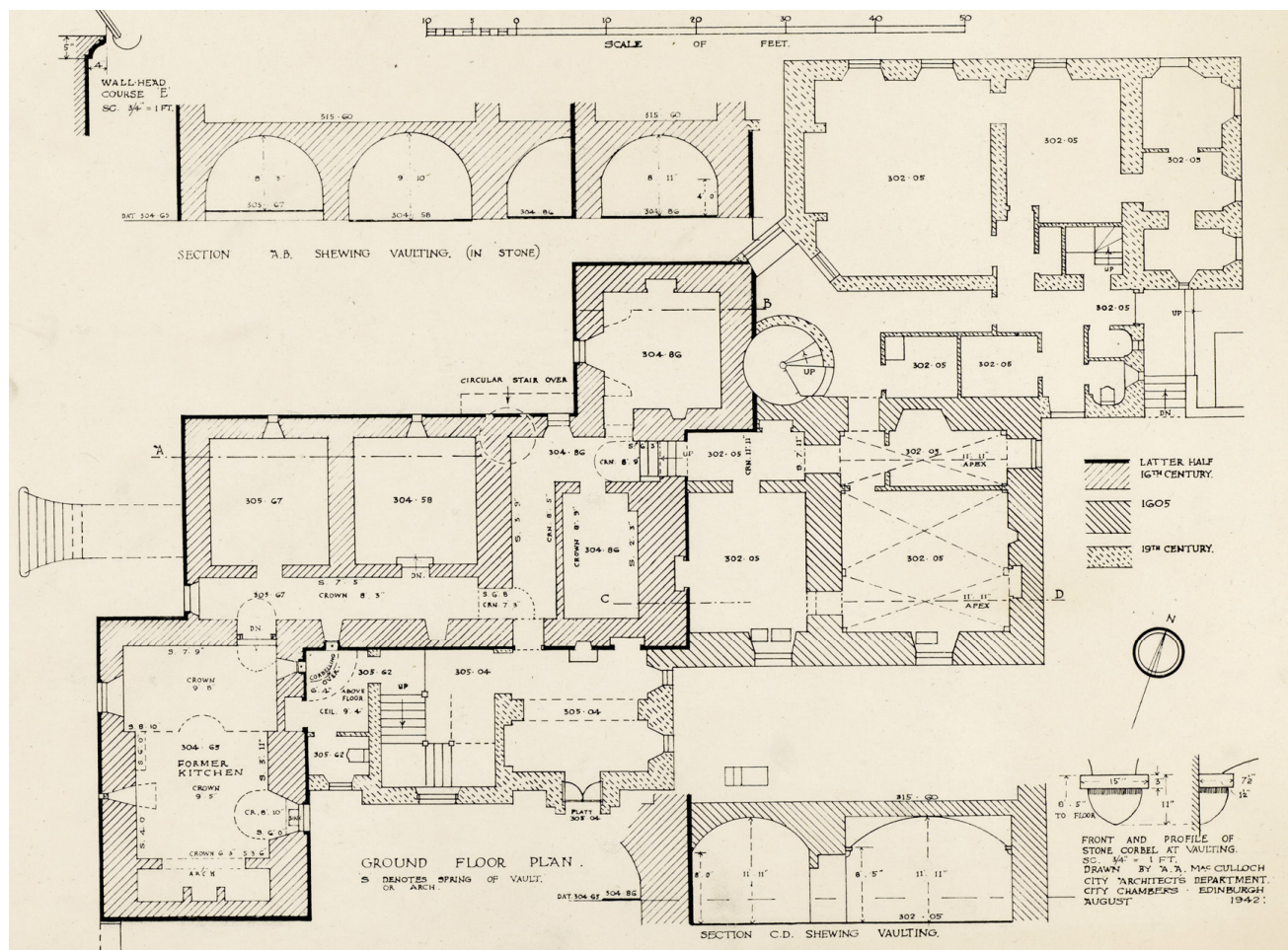
Site plan showing chronology of structures past & present

3.3 Historic Evolution of Bruntsfield House

Bruntsfield House was built in the late 16th century and evolved from an earlier building on the site belonging to the de Lawdre (Lauder) family, whose house was destroyed in 1544 by Protector Somerset. It is a 3 storey Z plan tower house with attic, which has evolved from an earlier L plan building. It is constructed in pink sandstone rubble with extensive repointing long and short quoins, steeply pitched crow stepped gables, single windows, slate roof and pedimented and finialled dormer heads.

L plan castles, or tower houses, were typically and frequently built in the 13th to 17th centuries in Scotland. They were built for defensive purposes as well as habitation. The L shape created the ability to defend the entrance door by providing covering fire from the adjacent walls. Very often wings were built as a later addition transforming the plan into more of a Z shape. In Bruntsfield House this takes the form of towers projecting from the north east and south west corners of the long main block. It is unlikely that the building was required to fulfil a defensive role and the gun loops at the commanding entrance doors were most likely for status rather than any military purpose.

In 1603 John Fairlie bought the estate from Sir Alexander Lauder. He undertook improvements on the house which were completed in 1605. These included internal improvements to the house and the construction of a substantial extension to the east side of the house. This had considerably larger windows at the first floor than the rest of the building. He put the initials of himself and his wife Elizabeth Westoun above several of the window lintols. The extension included a music room with large diagonally voluted pilasters at the fireplace, and lugged doors. At this time the south east internal angle was filled in with a slightly projecting block. Further adaptations to the plan internally occurred around 1700 with the formation of two grand rooms en suite on the first floor (the present day Head Teachers and Deputy Head Teachers offices).



Plans showing 1605 extension to late 16th century building (copyright RCAHMS)

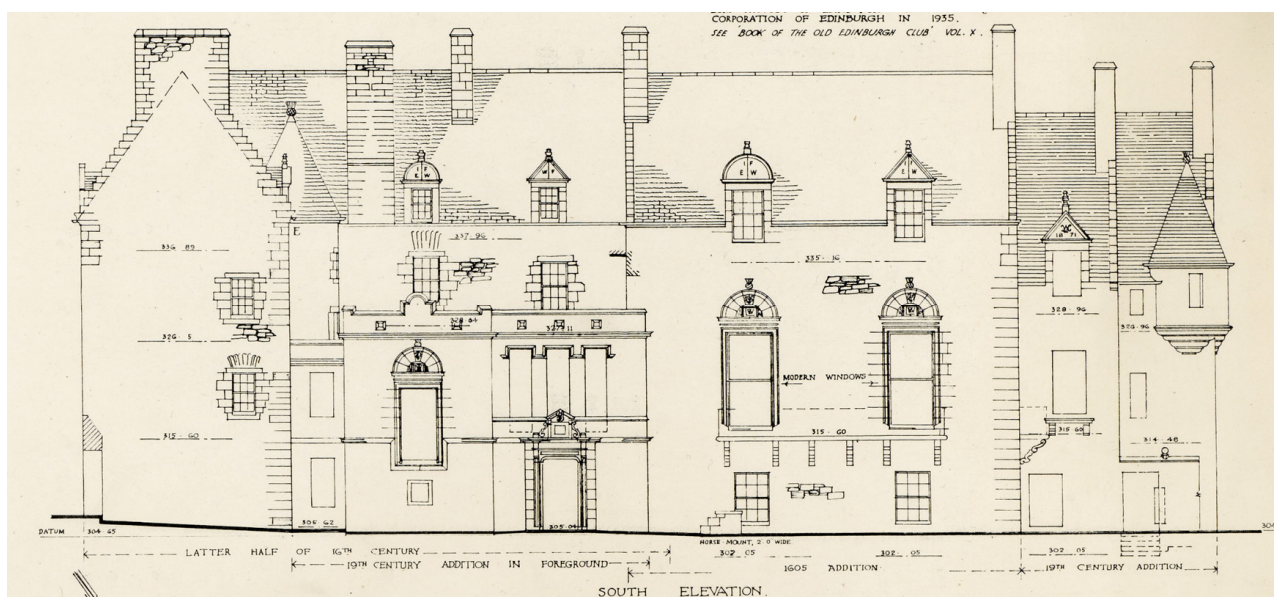


Carved monogram and initials of John Fairlie and Elizabeth Westoun over windows on the east wing
(all photos copyright Smith Scott Mullan Associates unless otherwise stated)

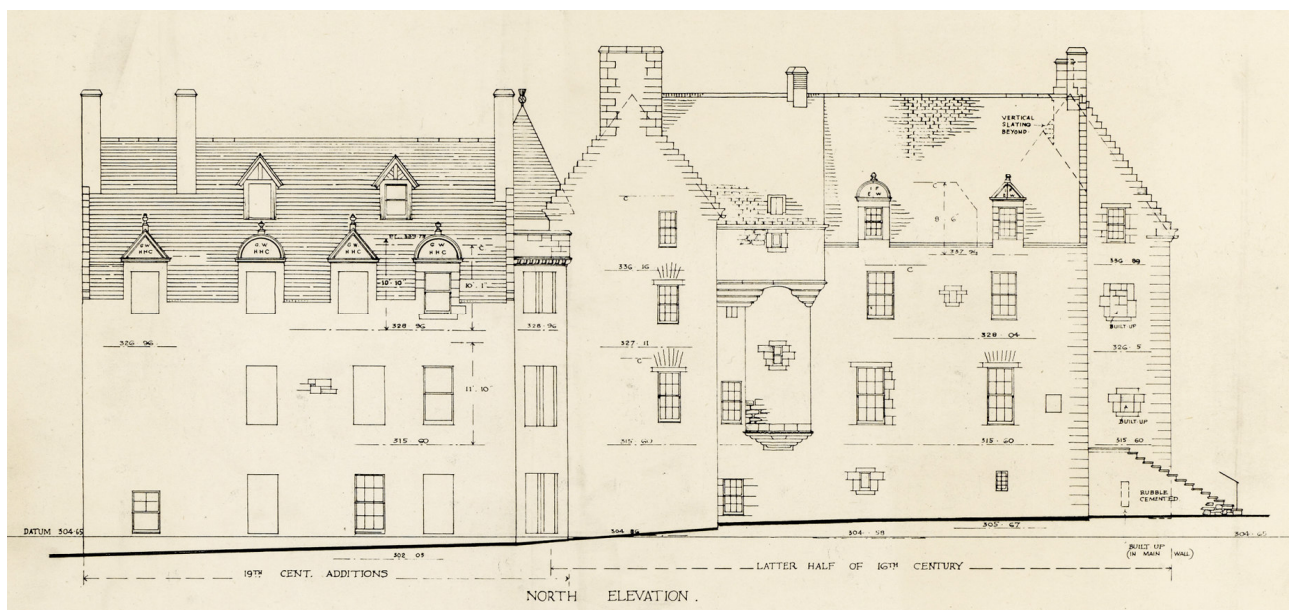


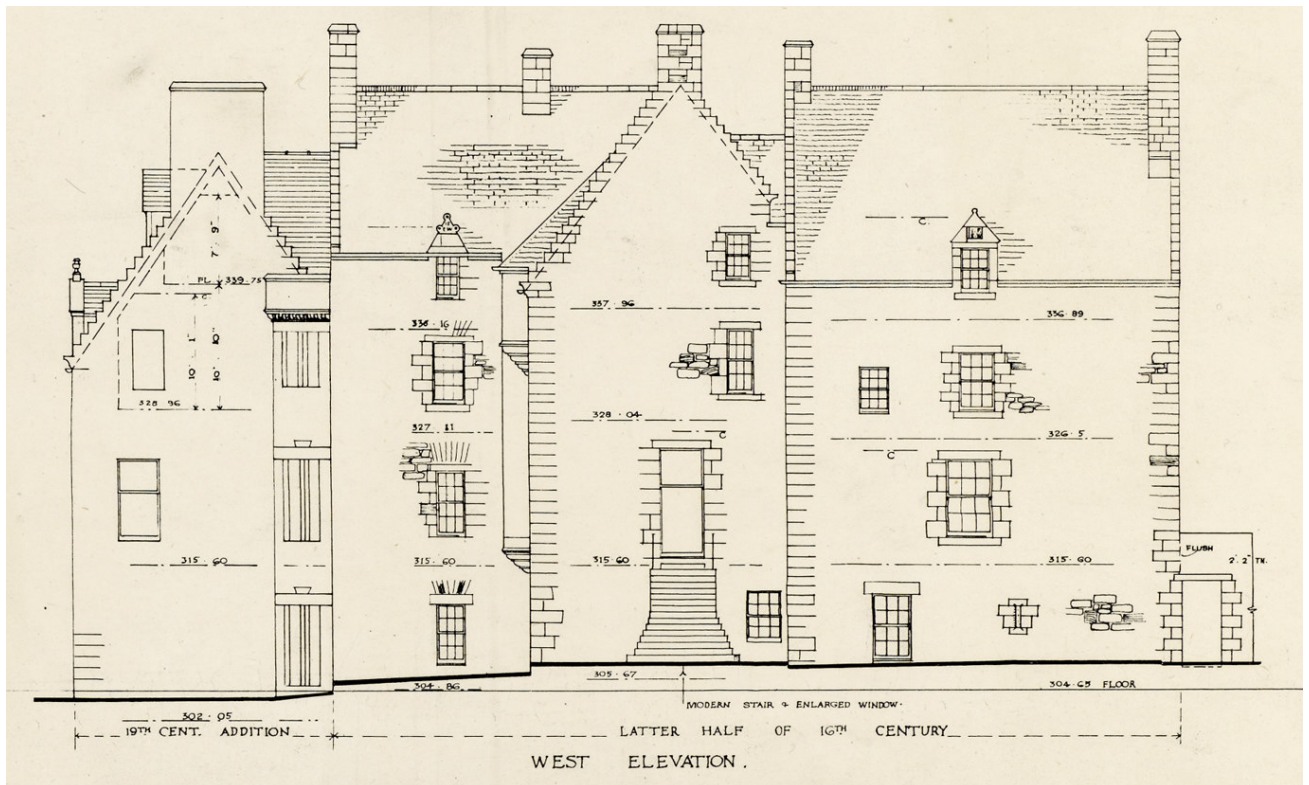
In 1695 the Fairlie family sold the estate, including Bruntsfield House, to George Warrender (who in 1713 became Lord Provost of Edinburgh). In 1820 Frederick Richard Lee came to visit Sir George. When he looked at the house he noticed there were more windows on the outside than on the inside. A narrow doorway behind a tapestry was discovered leading to a secret room. It is said that the room behind the door it was exactly as the last person in there had left it, with ashes in the grate and the floor covered in branches. There were blood stains on the floor and four swords. More disturbing were the three skeletons, one near the window, one near the grate and the third in the middle of the floor. It is said that the skeletons belonged to the three sons of the Brans of Bruntsfield who took on the Moubray of Barnbogle and lost. From then on the room was known as the 'ghost' room. In the 1930's shavings from the marks on the floor were taken by the police for analysis. The tests carried out by the Department of Forensic Medicine proved that they contained human blood.

In the 19th century the house was substantially extended to the north and east by a new wing. This was constructed to match the original building in terms of style, material and form. It was slightly lower in height than the original building and spanned three storeys. To the south a new entrance was constructed with a large pedimented front door and large window to the staircase.



Elevations of Bruntsfield house showing evolution of building from late 16th century to 19th century (copyright RCAHMS)





Elevation of Bruntfield House showing evolution of building from late 16th century to 19th century (copyright RCAHMS)



Artist's impression of Bruntfield House prior to 19th century additions (copyright RCAHMS)

After the death of one of his descendents in 1901 (another Sir George Warrender) the future of the house became uncertain. By the early 1930's it was threatened with demolition. The then owner, Sir Victor Warrender, wanted to conserve the house and in 1935 he relinquished his life-rent interest on the estate in favour of Edinburgh Corporation. He did this on condition that the ground could only be used for a 'school, hospital, home, museum, art gallery, institute, public hall, public library, public park, recreation ground, swimming baths, public offices, garden, allotments or for any other public or municipal purpose in connection with the welfare of the City of Edinburgh'.

It was proposed to move James Gillespie's School of Girls onto the site, but the outbreak of the Second World War delayed that. During the war Bruntsfield House was requisitioned by the War Office as an ARP centre for first aid rescue. After the war the Council bought the building and converted it into flats for the homeless. The ground floor was also being used at this time as temporary classroom accommodation for the primary department who were located in the grounds in prefabricated huts (three parallel blocks of classroom huts with a dining hall and staff rooms). On 14 April 1953 a fire broke out in the early hours of the morning and completely gutted the attic. The water from the hoses in turn did considerable damage to the floors below. By 1957, the damage had been repaired and the house was being used as an annexe for the girls school. The interior underwent some modernisation and an outside stair was erected against the west gable of the main block, rising to a first floor window. Access beyond was internally via the turreted stairs. The 19th century entrance porch served as the main entrance, rather than the original entrance door in the east wall of the projecting south tower.



House circa 1892 (copyright RCAHMS)





House in 1953 following fire (copyright The Scotsman)

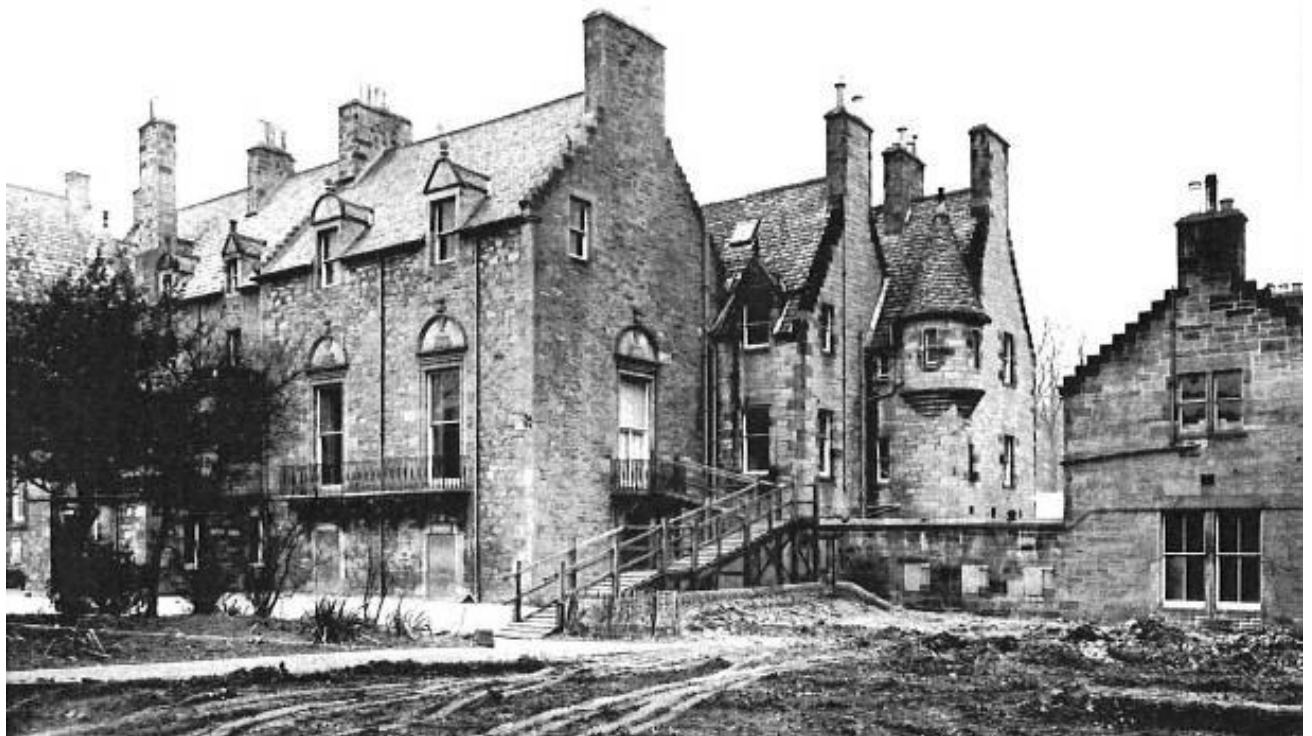


South elevations prior to 1960's development: note 19th century entrance addition (copyright RCAHMS)



North and west elevations prior to 1960's development (copyright RCAHMS)





Images of house prior to demolition of North West wings due to 1960's development (copyright RCAHMS)



In 1963 permission was finally granted for the new school (which in 1973 became co-educational and was named James Gillespie's High School). Edinburgh architects Rowand Anderson, Kininmonth and Paul were appointed architects. With regards to Bruntsfield House they retained most of the remaining features such as the flagstones, the 1605 addition of a groin vaulted former kitchen, segmental-arched kitchen fireplace, decorative plasterwork, coffered ceiling, lugged and architraved door surrounds, fluted pilasters with ionic capitals, fine later 18th century marble fireplaces to the former hall (another 1605 addition) and first floor rooms of the main house along with timber panelling to the grand room. The Victorian extension on the east wing was demolished as it was considered not in keeping with the rest of the house. This allowed the house to stand more or less as it had originally. The building became the administrative block for the school. It now houses the music department as well. The icehouse, stable blocks and a number of smaller out-buildings were also removed at this time.



Bruntsfield House after 1960's removals and link constructed
(Courtesy of James Gillespie's School archive)

3.4 1960's High School Buildings

The 1960's school buildings followed a campus style plan. This has resulted in a series of blocks located on the site that do not compete in height with Bruntsfield House. The result is a series of courtyards which are landscaped with trees, giving the overall campus a domestic character.



1960's photo showing courtyard with trees looking towards Thirlestane Art Block
(Courtesy of James Gillespie's School archive)



Present day view across courtyard with trees towards Thirlestane Art Block.

The first phase consisted of an assembly hall block, library block, classroom block, art block and technical block. The assembly hall block contains the foyer, reception, assembly hall, gym, swimming pool and staff rooms in a partial first floor. The library block, as well as containing the library, has a central court containing a decorative pool. The classroom block, now called Warrender Block, is three storeys high with classrooms accessed off a central corridor. The art block, known as Thirlestane, is one storey and has a clerestory roof. Its rooms are also accessed off a central corridor. The technical block is known as Spylaw. It is also 3 storeys in height and contains a mix of classrooms, cloakrooms, lavatories and a lecture room.

Also constructed at this time was the 2 storey dining room and kitchen block, adjacent to the assembly block, and the one storey boiler house to the north east of the site.

As noted by Historic Scotland in their research report for the buildings the blocks are grouped in an arrangement of intersecting courtyards, with assembly hall, library and classroom blocks to the east, art blocks to the south and technical blocks to the east. Bruntsfield House forms the north side of the complex, while the dining block is sited outside the courtyard to the north east, with the boiler house further to the north. The library is attached to the assembly hall block on its north west corner. The blocks are linked by covered walkways. The assembly hall block is linked to Bruntsfield House by an enclosed bridge at first floor level. The second phase included the erection of the narrow clock tower at the central point of the covered walkways and a single storey Janitor's house to the south east corner of the site. The clock itself, although symbolic on the clock tower, is not operational.



Northumberland brick of 1960's assembly hall in context of Bruntsfield House



Varying heights of 1960's buildings



1960's link to Bruntsfield House



Face of Clock Tower

Between them is sited the assembly hall, pool, gymnasium and library block. This varies between one and two storeys. The first floor of Bruntsfield House is joined to one of the new buildings by a link corridor which houses a music practise room. The layout creates a series of courtyards with trees, and the various blocks are linked at ground level by covered walkways. In the centre of the new complex, near to Bruntsfield House, is a brick clock tower. The clock face is formed in metal and is of a 1960's style. It can be seen from various parts of the site.



Clock tower in context of neighbouring teaching block (Warrender Block)



Covered walkways between teaching blocks around the clock tower

The 1960's buildings are predominantly concrete frame construction with an inner leaf of common brick and outer leaf of handmade Northumberland facing brick with raked out joints. The facing brick has a rustic texture which was popular at the time. It was also selected as it was felt it helped the new buildings fit in with the reddish rubble stonework of Bruntsfield House. The art block is constructed from structural steel with the same brick construction. The clock tower has brickwork reinforced with concrete landings with access by ladders within the cavity.

Particular care was taken over the landscaping with retention of contours and as many of the old trees as possible were retained. Some new trees were planted in the courtyards and are now fairly mature.

In 1987-88 the school was further extended by Lothian Regional Council Architectural Services Department. To the east of the site they erected a sports block linked to the gym. An L-plan arts block was sited so as to link the assembly and dining room blocks (part of the dining room blocks had been adapted to a teaching function by this time). There were internal alterations to the arts and technical block, the new areas of building were clad in brick to blend in with the existing 1960's buildings although an exact match was avoided. In 2008 a buff brick lift tower was formed on the north gable of Warrender Block.

Internally the architecture is simple and most areas were painted white. Important areas, such as the assembly hall, were given slightly more character and warmth by the introduction of natural timber linings. The blocks have mono pitched roofs in a butterfly style originally constructed in either copper or bituminous felt. The central gutter is exposed at the gable. The square windows are located in the facades in a simple geometric pattern. Details such as the column bases to the covered walkway supports emphasise a simple utilitarian aesthetic.



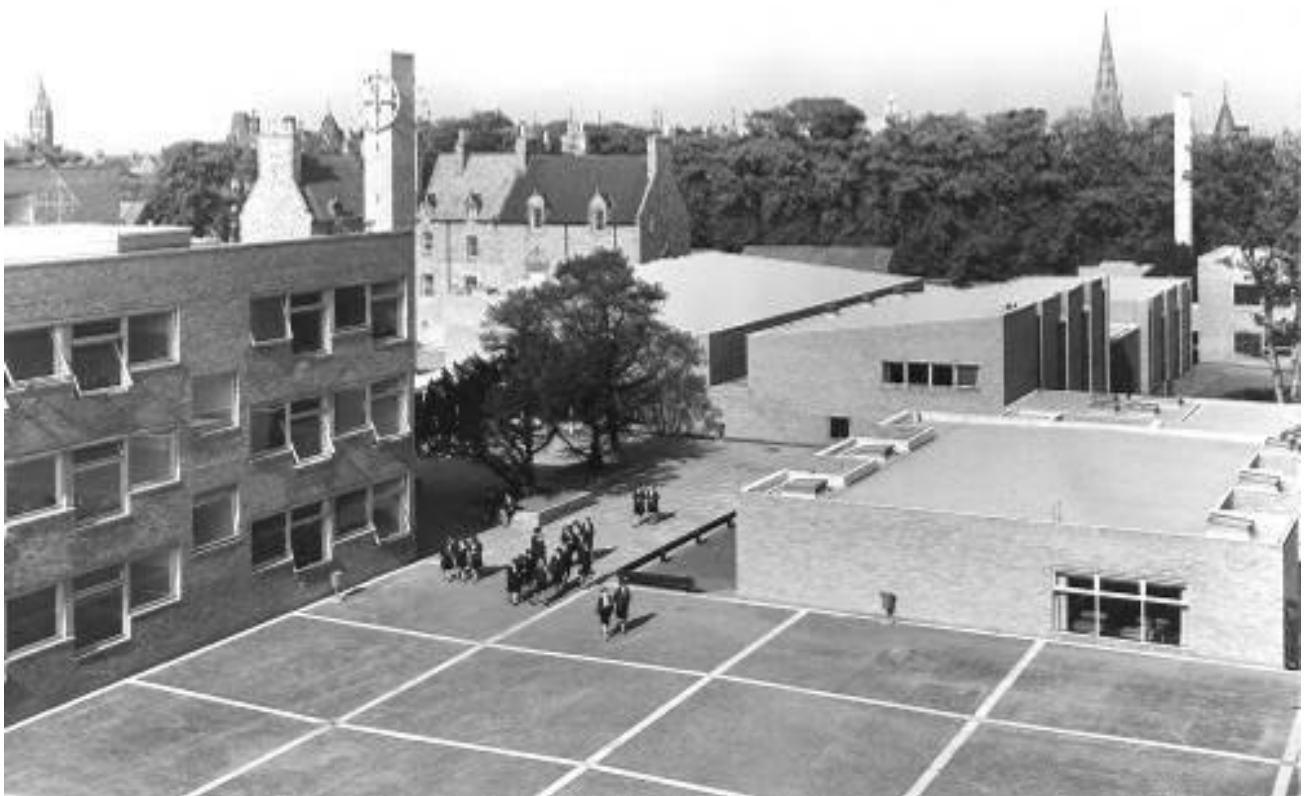
Main courtyard on completion of 1960's School (Courtesy of James Gillespie's School archive)



Assembly Hall when completed (Courtesy of James Gillespie's School archive)



View across to clock tower from Bruntsfield House (Courtesy of James Gillespie's School archive)



High level view of new campus looking towards Bruntsfield House (Courtesy of James Gillespie's School archive)



Geometric pattern of glazing



Roofline and of triple and single storey teaching blocks

3.5 Other Buildings on the Site

The other main building on the site is James Gillespie's Primary School. Constructed in the 1980's, this is a one to two storey ashlar and render building situated to the north west of the site. Its height was restricted to allow views to Bruntsfield House, although this restriction has not been entirely successful. To its west there is a portacabin teaching block. As the boundary wall is at its highest for most of the perimeter of this building it is not very evident from the links or surrounding roads.



North elevation of James Gillespie's Primary School



View from the driveway towards Portacabin at rear of Primary School

To the north of the site there is a 1970's nursery school with gym extension. The boiler house is one storey high but has a high chimney constructed from cylindrical concrete sections. These are all one storey and mainly examples of simple 70's aesthetic architecture. To the south east of the site is the janitor house. Originally this was a good example of 60's architecture but subsequent alterations to doors and boundary have reduced its architectural merit. It is constructed from load-bearing blockwork faced with brick.



Janitor's house in its current condition



Boiler house in its current condition



Main section of Nursery School



Gym extension to Nursery School

3.6 Landscape and Boundary

There is evidence of trees on the site from very early maps, such as Roy's Military Map 1747 –55. However by 1759 Robert Kirkwood's map clearly shows the formation of a formal garden to the east and tree lined avenue to the west. In the 18th century the creation of tree lined avenues was becoming popular, a style that had grown in the continent in particular in France and Holland. In Scotland, up until that point, entrance avenues were more likely to be formed by walls rather than planting. It is therefore likely that the walls are an earlier landscape element and the trees a later addition. Traditionally these would have been elms, limes or beech trees. Given the age of the site these would have been replaced over the centuries. The current trees are mature sycamores. The retention of the tree lined avenue is important as this feature terminates in the archways providing a vista to the house. The walls themselves are of interest in that they are not parallel. They taper towards each other as they near the archway by the house. This is a clever device to emphasise the approach and vista of Bruntsfield House. The retention and preservation of this avenue is important to the overall character and historical context of the site.

By 1817 the formal garden to the east had been replaced by one to the north and there is also an increase in trees to the boundaries to the west, north and east. In the 1848 -72 map there is a semi-circular formal garden to the south and extensive tree planting throughout the entire site. This formal garden can still be seen in aerial shots of the site in 1946. It is therefore clear that the site has a history of breaking up its internal layout into a series of smaller landscaped areas that give interest and a variety of spaces in which to inhabit.



Historic photos showing formal landscaping around Bruntsfield House
(Courtesy of James Gillespie's School archive)



In 2010 Brindley Associates undertook an assessment on the trees on the site. Their findings concluded that the trees are generally healthy, although previous management interventions appear to have been reactive rather than proactive. Minor pruning works have been undertaken usually to remove branches interfering with adjacent structures or to repair wind damage. They note that some areas are overstocked with the result that potentially good trees are crowded or repressed by their more dominant neighbours and some of these poorer performing trees are suggested for removal. To the north of the site the established trees form a strong boundary, whose existence can be charted in the old maps of the site. It has been noted by CEC Arboricultural Officer, Graham Hinshelwood, that this boundary of trees to the north must be retained. To the south the trees form a screen to the tenement gardens beyond. Whilst these are not old trees in terms of age they serve an important role and consideration should be given to the retention of a screening of trees in this location. The mature trees in the centre of the site, that form the focal points of the courtyards, are important to the history of the site in the context that a variety of landscaped areas between buildings should be considered.



Prominent tree in north playground



Scale of mature tree in central courtyard

The boundary wall is significant not just to the site, but also to the surrounding areas, in particular in relation to views of the site from Bruntsfield Links. It changes its form along its length. The south of the site its is a typical tenement boundary wall. There are no immediate issues with its condition and it addresses the tenements rather than the site. It is approximately 1.8 m high and is formed from random rubble and mortar. It is not evident on the 1926 OS map, although the tenements are shown. It is assumed that this wall was constructed some time after the Second World War (as it is not in either of the 1940's aerial photos).



South boundary wall to tenement garden



The Lauderdale Street boundary is later than the other main boundaries to the north and west. The first evidence of it is in the 1904 OS map. At its south end there is evidence of construction from older buildings as many of the stones are dressed and show indications of other features such as windows surrounds. In a couple of stones there are pieces of metal that look as if they were part of gate hinges or similar. It is much higher than any other areas of wall on this boundary and returns back into the site just beyond the higher level playground. This portion of wall should be retained where possible, as it is significant in the evolution of the site and also due to the materials used in its construction. The remainder of this wall is predominately low with wide timber board fencing above. This timber fencing is of no significance. Much of this wall is coped with concrete copes that have not aged particularly well. The copes to this area of wall should be replaced with real stone ones. The height of this boundary wall should not detrimentally affect views to Bruntsfield House.



High section of east boundary wall to Lauderdale Street



Low section of east boundary wall to Lauderdale Street

On Warrender Park Road the wall is lower to the east end, around the outdoor pitches, and then rises to full height at the west end around the primary school. It creates a good enclosure to the site in the context of the wider streetscape through its whole length. Along its length there are some instances of dislodged or missing stonework and where the entrance gate to the side of the sport pitch has been installed the wall is reinforced with steel posts and bars. The cope to this random rubble stone wall is half barrelled and its condition varies along its length. Towards the west end there is evidence of stone erosion due to the introduction of cement based mortar repairs. This is particularly evident to the areas where red sandstone has been used. In this area, at the junction with Whitehouse Loan, there is evidence internally of previous buildings on the site, by the paint finish on some of the stones and a vent on the street face.



North boundary wall to Warrender Park Road



Gateway in North boundary wall-access to Primary School

To Whitehouse Loan there are old stone carved panels integrated into the wall relating to the Warrender family. Items like this are important to the history of the site. The wall is at its highest along this elevation and provides a strong significant boundary to the site. There are three sets of gate posts to this street. The first gives entry to the side of the primary school and are formed by a pair of ashlar piers with pyramidal caps. The gates, although not original, are simple metal style and are in keeping with the site. The main entrance to the school driveway is heralded by a significant arched gateway. There are timber gates to this that are currently offsite for repair, although the wrought iron hinges remain. The gates are due to be reinstalled shortly. The top of the arch internally is showing signs of plant growth that should be removed before they start to affect the structure of the feature. Evidence of ferramenta should also be retained. It is likely that this was for a flag or light. The gate piers are pedimented round arched roll-moulded to the gateway. There is a pedestrian metal gateway in the wall at this location. Just to the south of this there is evidence in the boundary wall of a previous building, likely a gate house. The windows and doorway, although blocked up are still evident.

These gates lead to the driveway, or avenue, terminating in an archway outside Bruntsfield House. The boundary to this area to the north is metal railings around the primary school before becoming a high coped rubble boundary wall, similar to that on the Warrender Park Road and Whitehouse Loan boundaries. The majority of the boundary to the drive is a random rubble wall with pitched mortar copes. This is showing signs of stone decay and subsidence, mainly caused by unremoved plant growth. Its style and form is significant to the site and consideration should be given to its repair. There is evidence that in the past mortar repair has been done in concrete and not lime mortar that has resulted in the stone decaying. The archway to Bruntsfield House is in requiring some restoration, as there is damage to the stones to the top of the arch. Items such as the hanging basket add nothing to the archway.



West boundary wall to Whitehouse Loan showing gateway



View to site across Bruntsfield Links



View down the drive



View down the drive towards Bruntsfield House

To the south of the Whitehouse Loan boundary is evidence of another gateway. It is not in use to the extent that to the side there is considerable ivy growth to the ashlar gate piers with pyramidal caps. Consideration could be given to reusing it in the future if required.



Disused gate to Whitehouse Loan

4.0 ASSESSMENT AND ANALYSIS OF SIGNIFICANCE

4.1 Current Site

The Burra Charter, 1979, provides guidance for the conservation and management of places of cultural significance. It notes not just the historical evolution of the site as important, but also how it currently enriches people's lives and links to the surrounding communities. At present the site strikes a balance between zones of buildings and connected outdoor space. Consideration has been given to the height of buildings around the historic heart of the site, Bruntsfield House. This could however be improved upon as the house is not as visible as it should be from all key axes. It is possible to chart the historic evolution of the site from the late 16th century to the present day. Part of its character comes from the retention of items such as the door and windows from the demolished gatehouse which refer back to old buildings no longer surviving in their entirety. Whilst the newer buildings on the site in their entirety hold no major significance some small aspect should be retained and possibly included within any future development (i.e. the clock). The house itself has lost some status by the unsightly junction between it and the 1960's building. Whilst it should not necessarily stand in isolation any junction to it should be sympathetic and be of a construction that does not obscure a view to the east gable. Any link should reinforce the features of Bruntsfield House not detract from them. The current link at first floor is unsuccessful due to its solid nature.

The key aspect of the current site that is evident from viewing it is that the landscape plays an integral role in the atmosphere created. The trees to the north boundary, along with those lining the driveway from Whitehouse Loan, are the most significant. Any new works to the site should respect these features and not only retain, but enhance them. New planting of mature trees should be considered as part of any future works to continue the importance of landscape on the site.

4.2 Graded Elements

All elements of the site have been assessed and reviewed in relation to their significance to the site. The table below details these under the following status levels:

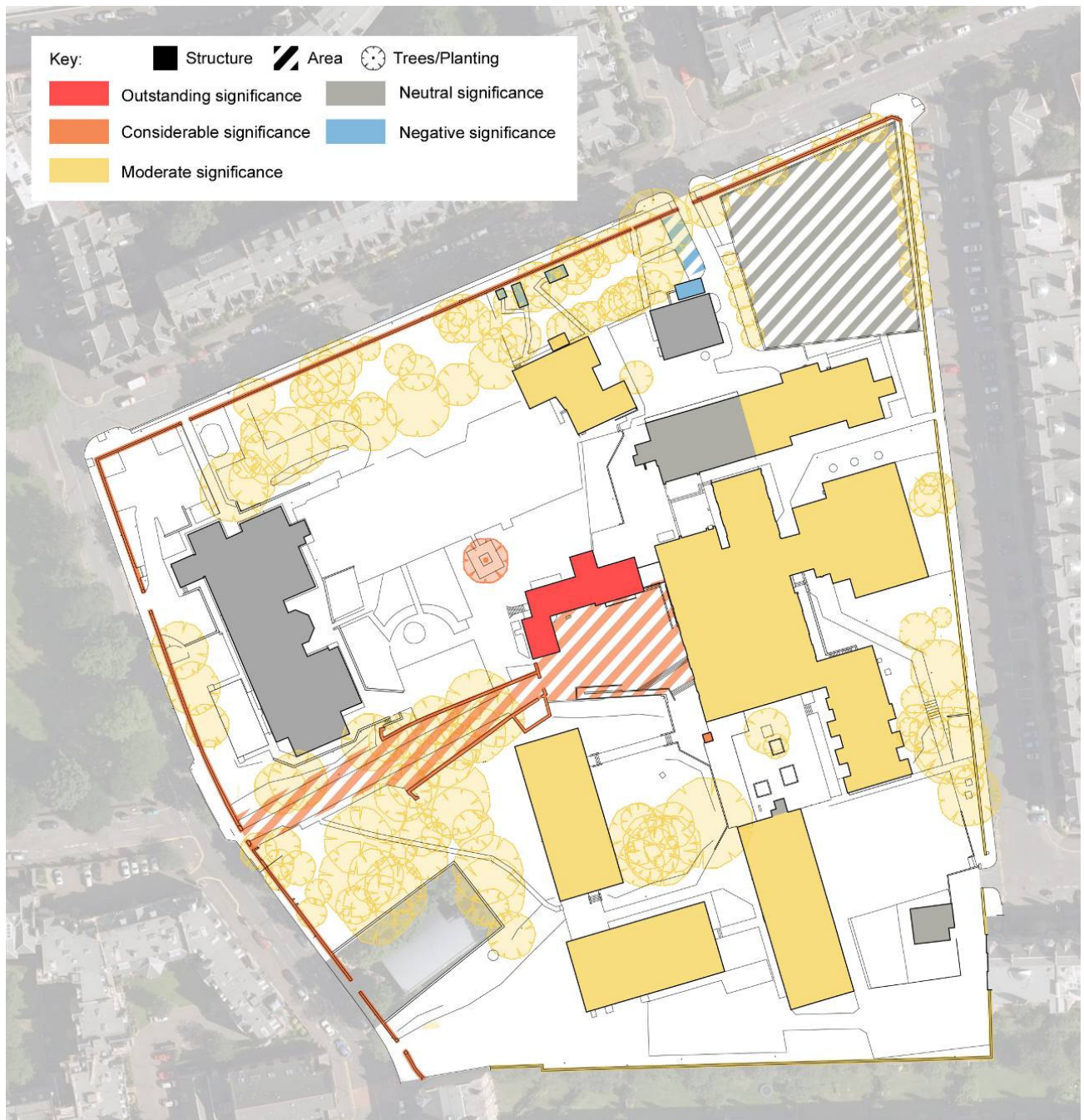
Outstanding – A building or element of international importance, or a fine, intact or little altered example of a particular style or type that embodies the importance of the building or overall site.

Considerable – A building or element of national importance within Scotland, or a good example of a particular period, style or type with a high degree of intact original fabric that contributes substantially to the importance of the building or overall site.

Moderate – A building or element of local importance, or an element that contributes to, but is not a key element to the importance of the building or site overall.

Neutral – An element that neither contributes nor detracts from the importance of the buildings or site overall.

Negative – An element that detracts from the overall significance of the building or the site.



Site plan showing relative significance of graded elements

Main Elements

Element	Status of Significance	Comment
Bruntsfield House	Outstanding	Nationally important both historically and architecturally.
James Gillespie's Primary School	Neutral	Of no significant architectural merit.
Portacabin associated with James Gillespie's Primary School	Negative	Detracts from Primary School and surrounding landscape.
Thirlestane Wing (James Gillespie's High School)	Moderate	Form and fabric including roof line.
Warrender Wing (James Gillespie's High School)	Moderate	Form and fabric including roof line.
Spylaw Wing (James Gillespie's High School)	Moderate	Form and fabric including roof line.
Roslyn Wing (James Gillespie's High School)	Moderate	Form and Fabric including roof line. Some areas more significant than others.
Teaching Wing to North	Neutral	Later addition to 1960's school – of no significant architectural merit.
Clock Tower	Considerable	Significant on the site
James Gillespie's Nursery School	Neutral	Of no significant architectural merit.
Boiler House	Neutral	Chimney detracts but form of brick building considered neutral.
Recycling Centre	Negative	Although screened from rest of site its overall appearance detracts from the setting
Plant	Negative	Containers and single story sheds impact on established wooded landscape.
Sports Pitch	Neutral	No real impact given its nature
Janitor's House	Neutral	Changes to doors, windows and boundary reduces it to neutral
Boundary Walls to North and West	Considerable	Including gate posts, gates and copes
Boundary walls to south and east	Moderate	Except higher southern section of east wall which is considerable
View from west gateway down drive	Considerable	Wall requires repair
View of Bruntsfield House from Bruntsfield Links	Considerable	Affected slightly by two storey section of primary school
View of Bruntsfield House from Warrender Park Road	Considerable	Currently not significant as it should be. Nursery and boiler house obscure it
Tree 621 in primary school playground	Considerable	Along with associated bench is important in the landscape context of the site
Trees in courtyard	Moderate	Important to include mature trees throughout landscaped areas. On site.
Trees to north boundary	Considerable	Retain where condition allows.

Element	Status of Significance	Comments
Exterior of Bruntsfield House		
Overall exterior	Outstanding	Except link corridor from Roslyn House block which is negative
Entrance doors	Negative	Later insertions of standard style which detract from house
Exterior of Warrender Block		
Overall Exterior	Moderate	Simple form and use of materials a good example of 1960's secondary school architecture. Later addition lift core of lesser architectural value.
Overall exterior	Moderate	Simple form and use of materials a good example of 1960's secondary school architecture
Exterior of Thirlestane Block		
Overall Exterior	Moderate	Simple form and use of materials a good example of 1960's secondary school architecture.
Exterior of clock tower		
Overall exterior	Moderate	Clock face most significant feature
Exterior of Spylaw Block		
Overall Exterior	Moderate	Simple form and use of materials is a good example of 1960's secondary school architecture
Covered walkways		
Overall exterior	Moderate	Important in creation of intimate external atmosphere of campus. Simple detailing structure and use of timber mean they sit well within the trees on site
Exterior of Roslyn Block		
Overall exterior	Neutral / Moderate	Extension of no architectural significance
Library		
Overall Exterior	Moderate	Single storey nature and location by trees make it sit well within the site context
Sports facilities		
Overall exterior	Neutral	Of no architectural significance
Entrance	Negative	Red canopy detracts from surrounding buildings
Exterior of Primary school		
Overall exterior	Neutral	Consideration to feature banding given but materials not in keeping with overall site, especially white render to top storey
Exterior of nursery school		
Overall exterior	Neutral	Of no architectural significance.
Exterior of boiler house		
Overall exterior	Neutral	Brick colour blends with overall site
Interior of Bruntsfield House		
Vaulted entrance hall	Considerable	Including stone flags and vaulting but not plaster finish to vaults of glazed doors. Stained glass panel

Element	Status of Significance	Comments
General office 088	Outstanding	Vaulted ceiling and corbels. Reception screen and integral window negative.
Concrete stair to north tower	Negative	Form of stairs negative although tower itself externally is part of outstanding nature of Bruntsfield House.
Reprographics room 100	Considerable	In particular archway to south and underside of old spiral staircase to the north west. Also ingoes to window to east vaulted.
Metal stair to north of south wing	Negative	Material and impact on zone.
Staff room 089	Neutral	Boxed off from switch room therefore vault to ceiling affected
Switch room 090	Neutral	Vaulted ceiling
Circulation corridor 087	Moderate	Stone flags and vaulted ceiling
Medical room 093	Moderate	Vaulted Ceiling
Office 099	Moderate	Vaulted ceiling although subdivision to create toilet and cleaners store negative
Staff toilet 098	Negative	
Cleaners store 095	Negative	
Circulation corridor 094	Moderate	Vaulted ceiling and stone flags
Circulation corridor 098	Neutral	Stone flags
1 st floor music room 148	Outstanding	Marble mantelpiece, ceiling and wall mouldings along with raised and fielded doors and architraves. Sash and case windows lost status due to later 2 pane additions.
Head Teacher's office 158	Outstanding	Panelling, cornice, parquet surround to floor, marble mantelpiece and raised and fielded doors.
Deputy Head Teacher's office 155	Considerable	Mantelpiece and raised and fielded doors outstanding. Use of double doors to music room as cupboard negative. Consideration to be given to reinstating this doorway.
Stone spiral stair to north of rectors office	Outstanding	Form and fabric
Stone spiral stair to south of rectors office	Outstanding	Form however linoleum tiles detract from overall stair – removal of this overlay to be considered
Music practice room 146	Negative	Inappropriate link structure
Circulation corridor 156	Neutral	Raised and fielded doors mix of panelling to window in goes
Office 163	Moderate	Panelling and shutters around windows
Music base 196	Moderate	Panelling and shutters around windows. Cornice
Circulation corridor 187	Moderate	Archway above steps, cornice and curved wall to north spiral stair
Music room 195	Moderate	Panelling and shutters to windows
Female toilet 190	Negative	
Toilet 192	Negative	
Circulation 191 + 193	Negative	
Office 194	Moderate	Panelling and shutters to windows
Music room 204	Neutral	Panelling and shutters to windows
Store 202	Neutral	

Element	Status of Significance	Comments
Circulation 203	Neutral	
Music Room 200	Neutral	Panelling and shutters to windows
Store 213	Neutral	
Music room 214	Neutral	Panelling and shutters to windows
Circulation corridor 207	Neutral	
Circulation corridor 208	Neutral	
Circulation corridor 209	Negative	
Music room 212	Neutral	Panelling and shutters to windows
Interior of Warrender Block		
Corridors	Neutral	
Classrooms	Neutral	
Interior of Spylaw Block		
Corridors	Neutral	
Classrooms	Neutral	
Interior of Thirlestane Block		
Corridors	Neutral	
Classrooms	Neutral	
Interior of Roslyn Block		
Corridors	Neutral	
Classrooms	Neutral	
Interior of Library	Neutral	
Interior of Swimming pool	Neutral	
Interior of Games hall	Moderate	A good example of 1960's games hall with wall bar and original flooring.
Interior of Reception area	Moderate	Timber panelling and items such as duxboards
Interior of Stairways	Neutral	
Interior of Assembly Hall	Moderate	Timber tongue and groove panelling and open circulation corridor to east.

Note: No interior investigations were carried out into the Janitor's house, boiler house, plant areas, nursery school or primary school in the course of this Conservation Plan.

4.3 Character

The character of the buildings on the site are all of a solid nature. The construction of Bruntsfield House has had an influence on the subsequent materials chosen for the later buildings. Whilst the stone of the house has not been replicated its colour and texture are apparent in the choice of brick and ashlar used on the High School and Primary School buildings. Materials such as the white render to the upper storey of the primary school are not as successful in their integration within the site and the wider conservation area.

In the 1960's the 12 pane sash and case windows were reinstated to Bruntsfield House in all areas except to the two large windows above the external balcony. The fact these large windows are not in character with the rest of the building make them stand out in a negative manner. Consideration should be given to replacing them with ones more in keeping with their original format.

Features such as the carved monograms and initials above some of the windows to Bruntsfield House are important references to the historical evolution of the house. The ornate carving above the window to the end of the east wing is obscured by the inappropriate link to the 1960's buildings on this façade. The external stone stair case to the rector's office is an important feature on the west façade. However the condition of the railings and the stone stair itself is cause for concern and these should be conserved to prevent any further deterioration in their condition. Removal of the saplings to this and the north façade would also help reveal more of the façade of the building that is currently hidden by these trees.

The 1960's buildings are good examples of school architecture of this period, however they are not outstanding. Their layout and setting in the landscape is important in relation to the atmosphere they create. It is important that none of the buildings that surround the house obscure or overshadow it in scale and materiality. The simplicity of their form, restricted palette of materials and careful consideration to the break up of facades with windows means that they do sit unobtrusively in the landscape. The spread out nature of the buildings helps create the various outdoor spaces around the school that are so important to its overall character. Linking these by simple covered walkways also lends interest to the campus, and provides shelter without detrimentally affecting the setting.

4.4 Setting

The mature trees provide a unique setting for the school. They are important not just at the boundaries, but scattered throughout the site as well. The mix of species from predominately Sycamore on the north boundary, to Lime and Ash and then Scots Pine and Yew internally create a varied landscape. The Holm Oak with the seat beneath is particularly important in its relationship not only to Bruntsfield House, but also to the wider playground setting. The grouping of the trees as boundary markers, both at the perimeter of the site and the driveway from Whitehouse Loan, are important. Larger trees in good condition should be retained in these locations, although some thinning of smaller or self planted trees can be considered for removal. Elsewhere trees are laid out in groups within the courtyards. They help emphasise the already intimate nature of these areas by providing a focal point. The non formal nature of these areas help create the friendly and welcoming atmosphere of the school site.



Trees in Courtyard



Trees to the west of site and setting of school buildings



Trees to north of site boundary



Tree in playground with seat at base

The series of courtyards, changes in levels and trees combine to form a more domestic setting for the school that is appropriate within the residential atmosphere of the conservation area in which the school is located.



Changes in level across site



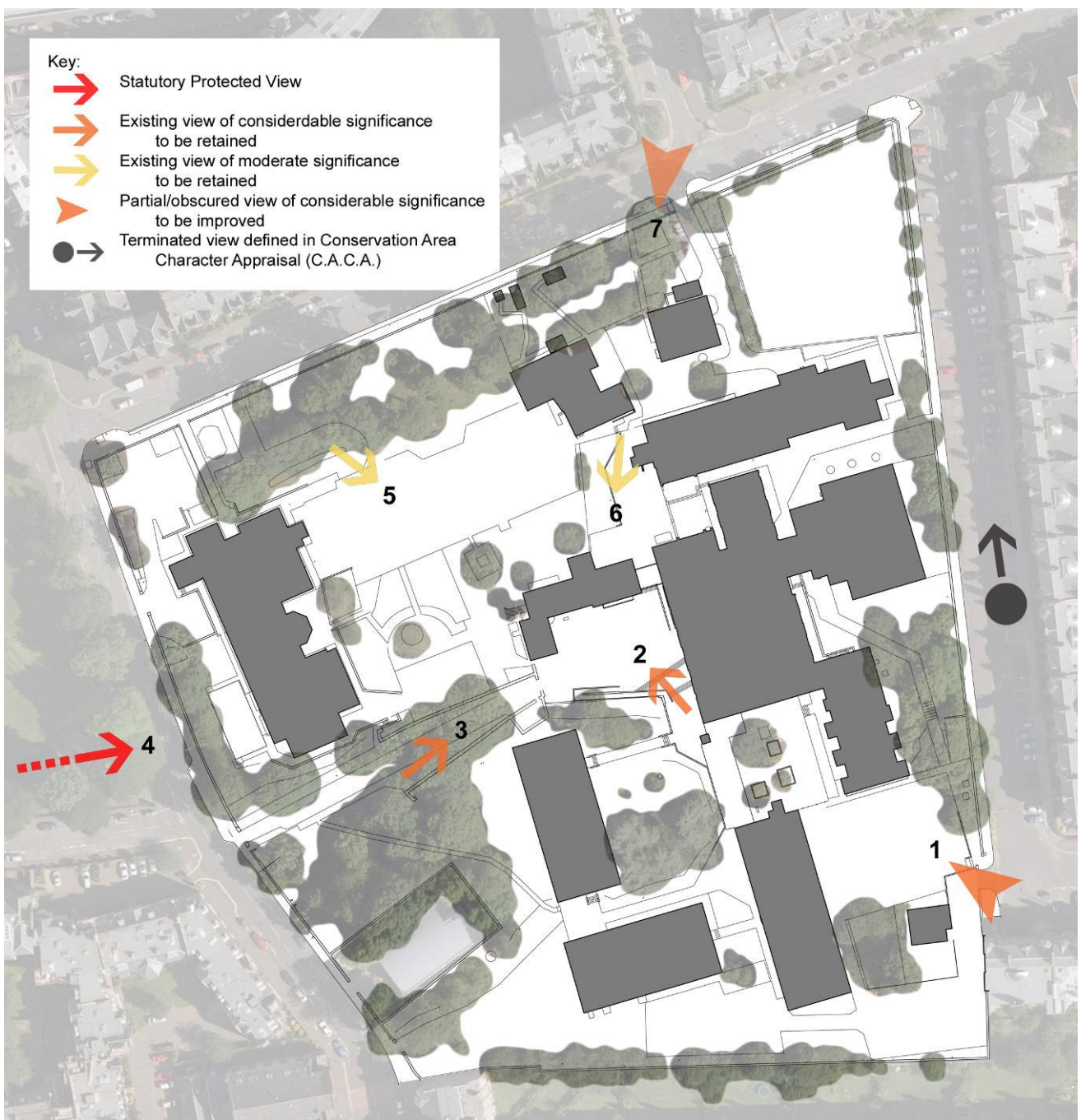
4.5 Views

An important aspect of the wider Conservation Area in which the school campus sits are the views that are caught across the areas of parkland, or at the end of streets, to areas of landscape, sweeping rows of houses, and significant buildings such as churches. Across the site the key views are to Bruntsfield House which sits in its centre, and from which the whole school campus radiates. Currently the most significant views to this building are from the west. It is visible both from Bruntsfield Links (although slightly interrupted by the primary school) and also down the driveway off Whitehouse Loan. From the east it is possible to glimpse the house as you progress across the playground towards the reception in Roslyn House, however this route is slightly compromised. From the south there is little view of Bruntsfield House due to the orientation of the Thirlestane teaching block, although its single storey nature has lessened this impact to some degree. On the north the house is visible from the playground area, however its not as visible when standing on Warrender Park Road, especially from the recycling centre. The courtyard area to the south of the house is not only historic but provides a decent space from which to view the house. The site slopes down from the south boundary to this courtyard making the house appear sunken. Currently it's not possible to walk freely around the whole house which weakens its prominence in the centre of the site. The introduction of fencing that splits the north elevation of the house is detrimentally to the setting and ability to view the house.

There is a second, less important focal point within the site This is the 1966 clock tower. It is most prominent viewed from the south east. Its scale is such that it respects Bruntsfield House rather than competing with it. Its role is more significant in relation to being a feature that symbolises the current school rather than being of considerable architectural merit. Historic Scotland refer to it as a striking vertical feature, however they do not feel it is worthy of listing or retention.



View showing clock tower



Plan showing significant views in & around the site



View 1



View 2



View 3



View 4



View 5



View 6



View 7

4.6 Key conclusions of the character assessment

- Brunsfield House is the heart of the site and the school.
- Views to this building should be maintained, improved and reinstated to increase its visibility not just on the site but from the surrounding conservation area.
- The colour and materials of Brunsfield House give important character to the site.
- The current 1960's school building does not compete with the house due to the texture and colour of the chosen brick. The scale of this material is also important as it relates to the random rubble construction of the house.
- The scale of the 1960's buildings respect that of Brunsfield House which is important to the overall relationship between all the buildings on the site.
- The overall design of the 1960's school is simple, well considered and a good example of educational architecture of that time. It is not significant or outstanding of the period.
- Consideration should be given to retaining a reference to the 1960's buildings if they are demolished (i.e. the clock face) to allow its place in the evolution of the site to be noted.
- The primary school, nursery, boiler house, plant, recycling centre, outdoor pitches and Janitor's house are of no architectural significance on the site.
- The retention of trees on the site is important, in particular to the north boundary and along the driveway from Whitehouse Loan.
- The Avenue of trees, and associated walls, are an important historic landscaping feature and should be retained.
- Planting of trees within external areas between buildings on the site is part of its historical character.
- The site is significant within the Marchmont, Meadows and Brunsfield conservation area. Any development on the site should respect the character and history of the area.

5.0 ASSESSMENT AND ANALYSIS OF CONSERVATION NEEDS

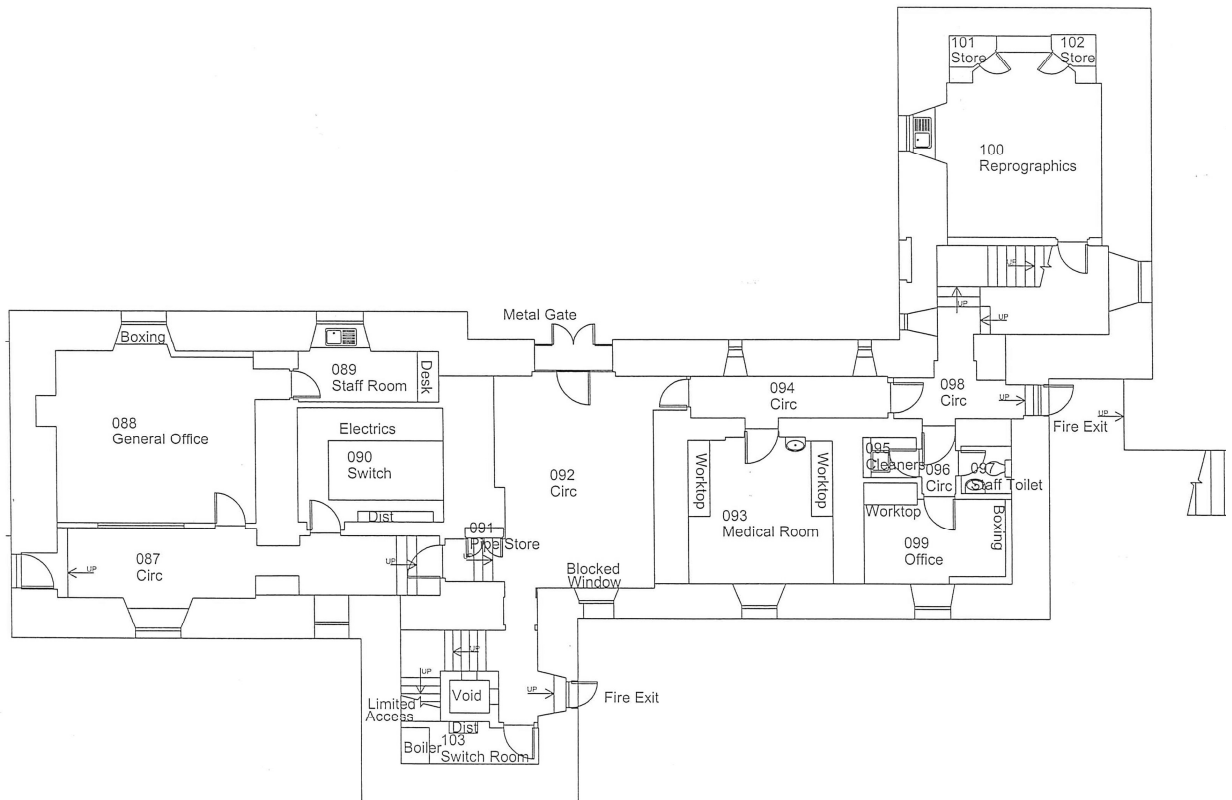
5.1 Areas for retention

The category A Listed Bruntsfield House is located on the site. It is significant as a focal point in the centre of the site as well as being a building that is significant in the conservation area, Edinburgh and Scotland as a whole. Since its construction in the 16th Century it has undergone many additions and removals. Any further removal of sections of the historic building should be avoided, although the removal of the link corridor at first floor on the east elevation should be undertaken to allow the window, with carved head moulding, to be made visible again. The building should be retained in good repair and any areas of damage made good or conserved to prevent further deterioration of condition. In the 1960's most of the windows were returned to twelve pane timber sash and case. The large windows to music room 148 were not changed and consideration should be given to reinstating these to ones more in keeping with their original layout of 12 paned sash and case.

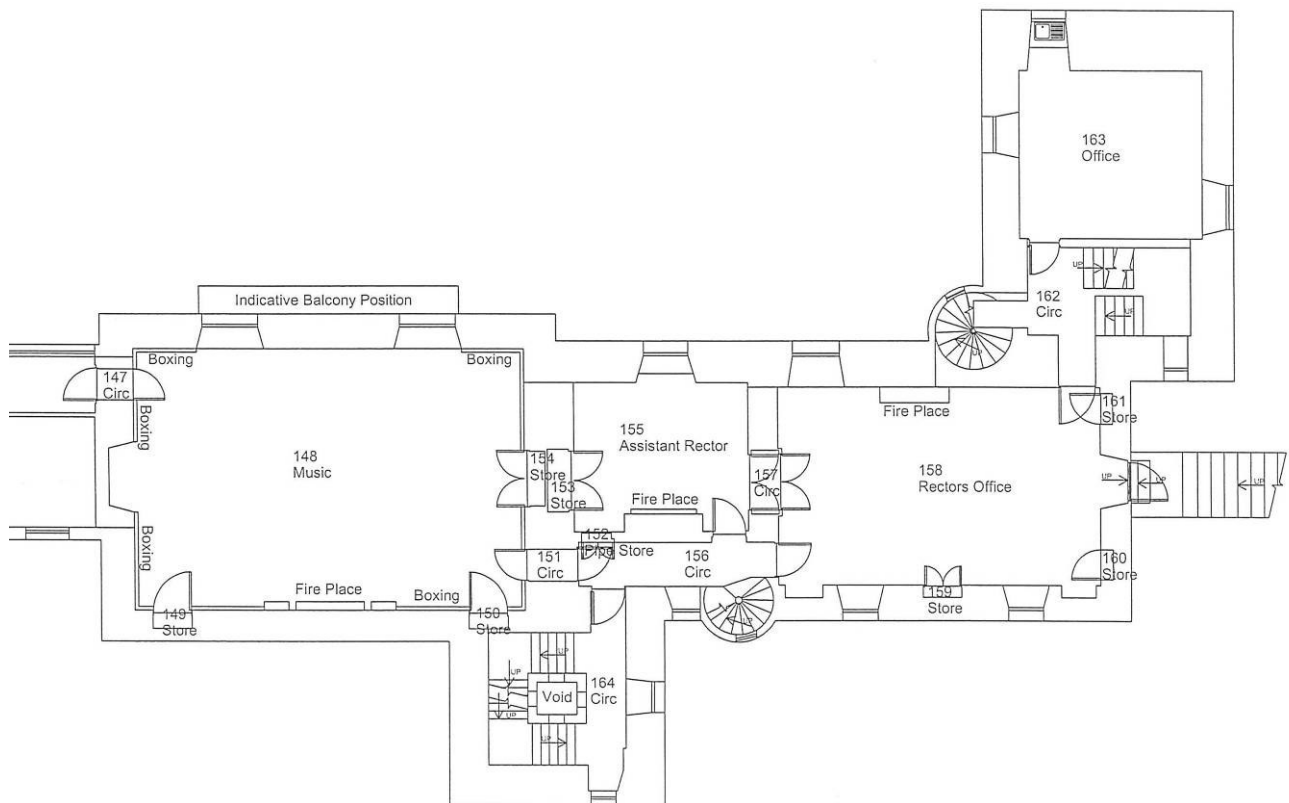


Bruntsfield House – viewed from the south

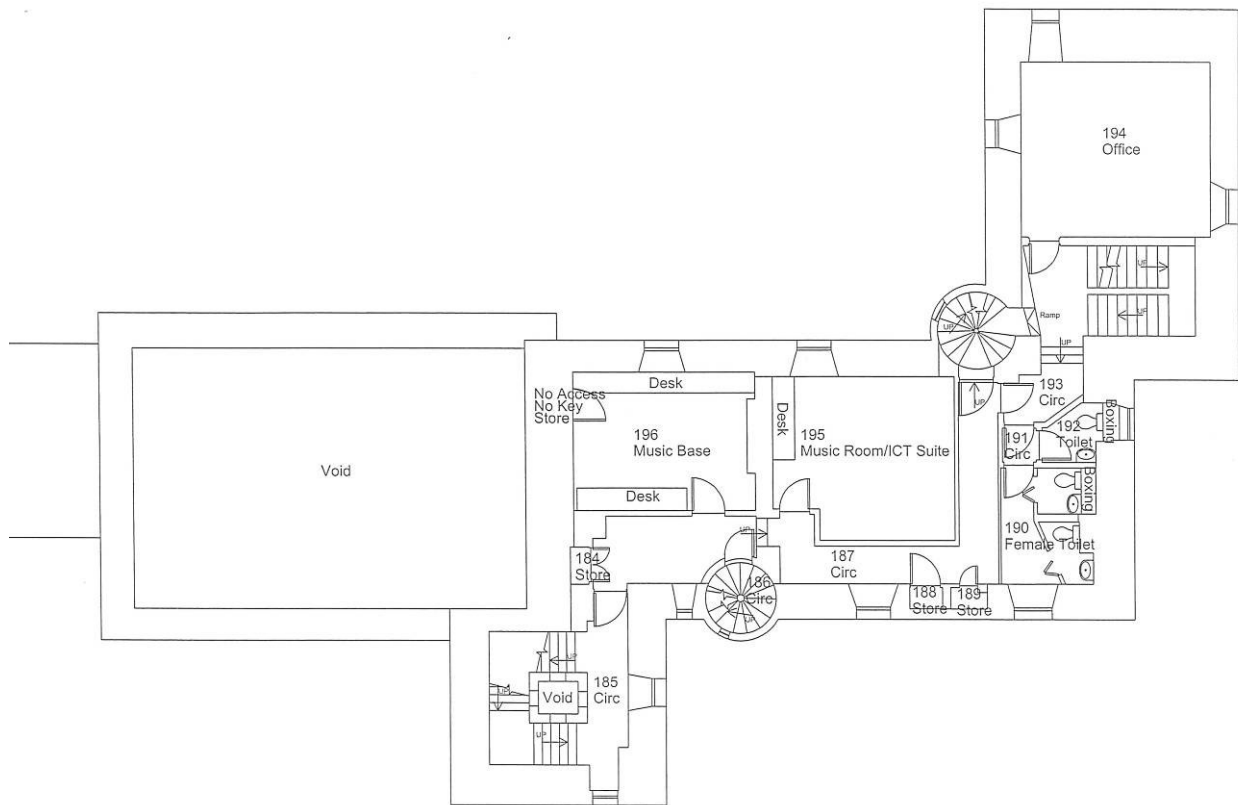
Internally many of the original features have been lost (the plans below show the current layout). Those that remain and should be retained include the two stone spiral stairs, marble fireplaces, panelling and decorative plasterwork in music room 148, Head Teacher's office and Deputy Head Teacher's Office, flagstone floors at ground floor, vaulted ceilings, segmental-arched kitchen fireplace, coffered ceilings, raised and fielded doors and lugged and architraved door surrounds. As with the exterior of the building they should be retained in good repair. The design and materials of the two later addition stairs do not contribute to the architectural evolution of the house and can be removed, however the surrounding walls and windows must be retained.



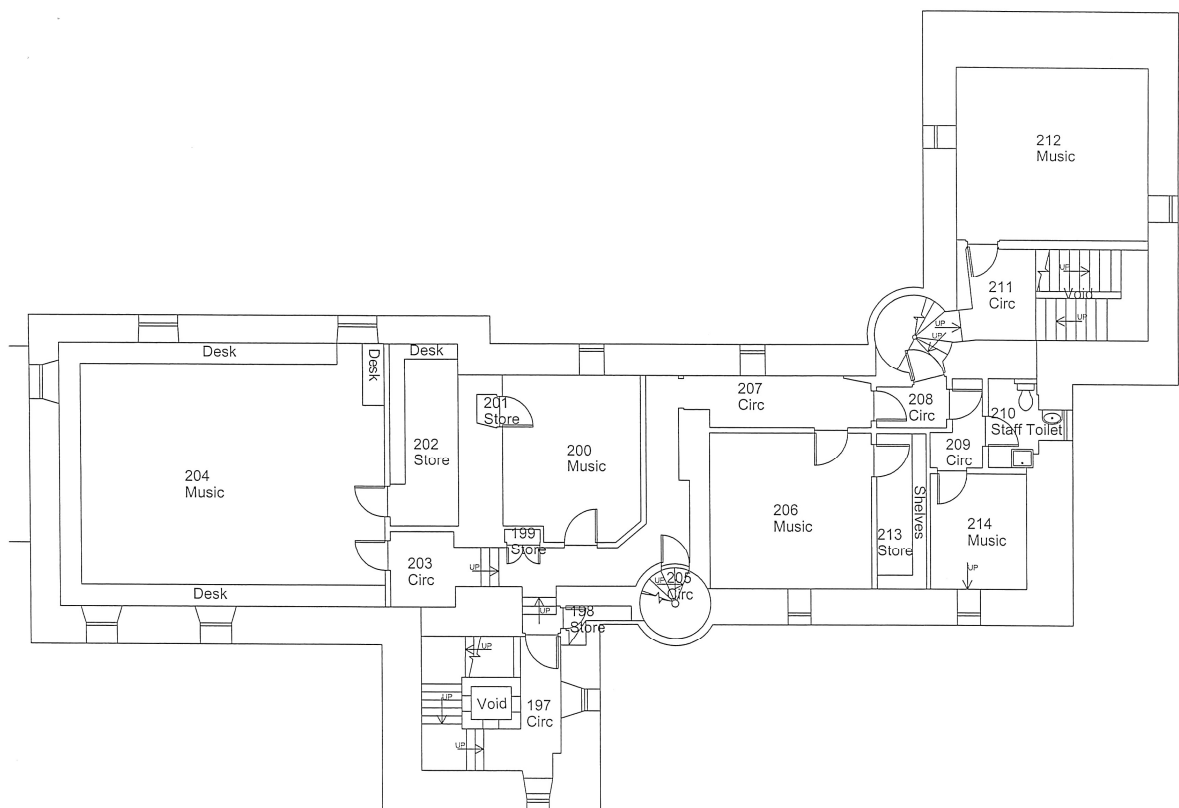
Ground floor plan as existing



First floor plan as existing



Second floor plan as existing



Third floor plan as existing



View from north toward 1960's teaching block

The 1960's High School buildings are mainly of moderate architectural interest, the 1980's extension is of no significance. If they were removed they would not detract from the site, however the principles of their layout are important to retain in any future development. The creation of landscaped areas between buildings lend a lot to ensuring that the parkland atmosphere of the site is not compromised. It is important not to lose all reference to the 1960's works and an appropriate element to retain would be something like the clock.

Buildings such as the boiler house and nursery are of no architectural significance and can be removed. The primary school is of neutral architectural merit. Considering painting it a colour more in keeping with the historic structures on the site could soften the white render to its upper level. This would also minimise its impact when seen from outside the site in the wider Conservation Area.

The construction of any new buildings on the site should be undertaken to ensure their positioning and materials relate sensitively to Bruntsfield House and the wooded nature of the site.

The east boundary wall is not in keeping with the general boundary treatment of the rest of the site, and is a 20th Century addition. The low level wall and timber fencing to the Lauderdale Street elevation could be removed/reconfigured, but there should be a strong boundary treatment on this side of the site. The south end of this wall is interesting in its reuse of old stones from other buildings and this element should be retained. It could be repositioned on the site but its essence and integrity should not be compromised.

The boundary walls to the north and west are of considerable importance, including their gateways. They should be retained and where gates are missing these should be replaced. The walls surrounding the driveway from Whitehouse Loan down to the stone arch by Bruntsfield House are also of considerable significance. They require repair to stop any further deterioration of condition. The arch and wall adjoining Bruntsfield House should also be retained/ repaired as it creates an important sense of enclosure to this corner of the house. To the north of the house the timber fence that splits the playground areas should be removed. Relocation of gateways or formation of new gateways would need to reuse existing gate piers or form new to match original.

The tree lined Avenue leading to the school from Whitehouse Loan is the only landscape feature remaining from the 18th Century. Although the trees are later plantings, their layout, along with the pyramidal coped wall, is not. Considerations should be given to the future replantings of this avenue to use a more traditional tree species such as Elm, Lime or Beech.

The southern boundary, as it backs directly onto tenement gardens, is unlikely to be affected by any changes on the wider site. It should be maintained in good condition.

5.2 Restoration and Repair

Experienced specialists trades persons should carry out all restoration and repair work. Work to reinstate missing elements should only be undertaken once a full investigation of the existing fabric has been completed and the specification confirmed to ensure that the materials to be used are of a sufficiently high quality and match to original colour, finish etc. before undertaking any removals or restoration a full photographic survey, and where applicable measured survey, will require to be undertaken. Work to all listed elements should be discussed with Historic Scotland and the statutory authorities to ensure that all relevant consents are in place.

The exterior of the house has some signs of damp at its base. The stone work is crumbling away and this is especially evident on the south façade. This requires to be investigated further as it's likely the building does not have a sufficient damp proof course. On the east elevation facing into the entrance courtyard there is evidence of a mortar seal to the base of the building.



Evidence of damp and stone decay to base of Bruntsfield House – South elevation



Evidence of damp and stone decay to base of Bruntsfield House – South elevation



Deteriorating Stonework



Mortar Seal on east elevation

The base of the turret on the south façade has areas of zig zag stone molding missing. This should be replaced and the condition of remaining areas investigated to prevent further sections falling off.



Missing carved stonework to base of stair tower turret

There is environmental staining to the stone scroll supports to the 19th century balcony. This should be monitored although there is no reason at present to clean the stone. Plant growth should be removed from the balcony and the condition of the wrought iron balustrade reviewed. The paint finish to them is well maintained at present.



Environmental staining to balcony and evidence of plant growth



The step outside the house that originally would have been for assisting riders onto their horses is in good condition and should be retained.



Step for assisting riders on to horses



Elsewhere on the south façade there is evidence of missing mortar and stone deterioration. This mainly occurs at the base of the chimney breast to the west of this elevation and is likely to be caused by plant growth in the gutter in this location that is also badly fixed. The down pipes in the corners of the original building on this elevation are also showing signs of leakage that is affecting the surrounding stone work. This needs to be rectified before further damage to the shell of the building occurs.



Decay to stonework at base of chimney



To the north elevations there is also evidence of cracking and deterioration to the stonework but it is generally in fairly good condition To the east end of the north elevation there is considerable bands of staining to the stonework which is caused by faults in the rainwater goods. This needs to be repaired to prevent any further decay to the stonework.



Staining to north elevation due to damaged rainwater goods



The lintol to the top floor window on the far west side of the south elevation has a large crack in it that is causing obvious subsidence internally. The cause of this and proposals for repair should be investigated.



Crack to lintol above top floor window, south elevation



There is evidence of delamination to the carved dormer window heads sandstone on the top floor of the south façade, but in general this stonework is in fairly good condition given its age. There are areas of stone decay on the façade and they tend to occur around the windows.



Delamination and wear to carving above window

In general the slate roof to the east wing of the building is in good condition with little evidence of slates missing or slipping. The ridge is showing signs of decay in its centre and this should be repaired to prevent further water ingress into the attic rooms. Review of these rooms internally does suggest some evidence of mild water ingress and this is also prevalent around the skylights to the north side. The lead flashings around the dormers and the rooflights should be checked to ensure they are giving the correct level of protection. The same situations also occur on the tiled roof of the older section of the house. The chimneys in this area also show evidence of plant growth that needs to be removed. The high chimney to the south is unsupported and at present is not showing signs of deterioration but consideration should be given to its safety and the possible introduction of some supports to the rear. On the north side of the roof there is evidence of metalwork decay to the gutters. These should all be cleared on a regular basis to prevent blockage occurring.



Plant growth to chimney



Deterioration to stonework on chimney and ridge of slate roof



Gutters Blocked



Lead flashing replaced with mortar around dormers

The original entrance door in the south east corner had been blocked up. Consideration should be given to reinstating this entrance. The current glazed entrance doors are no longer fit for purpose as they have large gaps around them that let in wind and rain. They should be replaced with either a doorway to match original or a new contemporary frameless glass system that is sufficiently water tight.



Original Doorway



Later addition glass doorway with metal security gate to current entrance

The link to the 1960's building should be removed and the sash and case window reinstated. Any link to Bruntsfield House should respect the architecture of this building and be of a system that does not damage the original structure and leaves it as visible as possible.



Link to Bruntsfield House



Original window surround visible above link

The stone staircase to the Rector's office on the west elevation is in need of serious repair as there are large areas of mortar and smaller stones missing. The wrought iron balustrade is also damaged and the lower section on the right hand side is also missing. The entrance door at this point is a modern 20th century replacement and should be removed. The door in this location should either match original or be simple and contemporary, as an honest replacement. The self seeded trees around this area of the north façade should all be removed and their stumps treated so as to prevent any regrowth. It is evident that these trees are beginning to cause some damage to the building, especially the stairs.



Staircase to Head Teacher's office showing damage to stone structure, steps and balustrades.



Internally to Bruntsfield House many of the original features have been lost. There are raised and fielded doors to the majority of rooms on the lower floors. The later addition 20th century door blanks should be removed and replaced in main areas with raised and fielded doors.



Raised and fielded door



Door blanks

In the ground floor office there is a good example of a vaulted ceiling with corbels at the base of the vaults. The split of rooms has affected this and consideration should be given to reinstating this area as one room so that the ceiling can be viewed in its entirety.



Vaulting and corbels to ceiling – ground floor east wing



The stone flagstones in part of the ground floor are in good condition and should be retained. Within the current entrance hall there is a recent commemorative stained glass panel covering one of the original windows internally. It does not need to be in this location but should be retained in a prominent position within the building.



Stone Flags in ground floor



In the old kitchen the coffered ceiling and segmental- arched fireplace are still evident. These are significant and are to be retained. The 20th century shelving currently within the fireplace should be removed. In the ceiling in this location some of the plasterwork has been stopped to reveal the original stone vaulting. Features like this should not be covered over.



Vaulted ceiling and segmental arched fireplace in old kitchen



On the walls at the base of the later addition stairwell to the north there are serious signs of rot with the plaster falling of the walls. This needs to be investigated further and the walls made good.



Evidence of damp internally at ground floor



There are two original stone spiral staircases. One has vinyl floor tiles adhered to it and these should be removed and the condition of stonework below assessed. The other has been painted and this paint should also be removed to reveal the original stonework below. Use of this material is not in keeping with the history of the house and detracts from this original feature. Both have thin metal handrails that should be retained. The two other staircases in the building are non original. The metal staircase to the south west has no architectural significance and its industrial aesthetic is not appropriate in a building of this age. It should be removed and if required to be replaced a new stair should be reinstated that is of a more robust material and aesthetic.



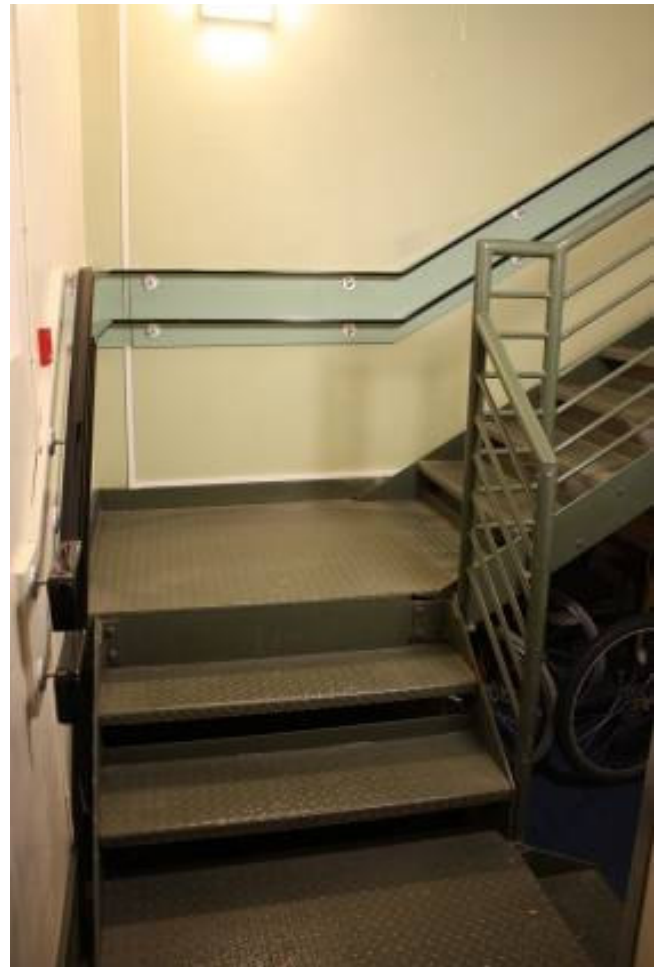
Spiral stair to south



Spiral stair to north



Later addition stair to north



Later addition stair to south

Each of the three main rooms on the first floor retains fine late 18th century marble fireplaces. These are in fairly good condition although the one in the deputy rector's room has sustained some damage. The one in the rector's room has had a later marble infill to the centre installed and a late 20th century freestanding fire fitted on the hearth. This fire is not in keeping with the building and should be removed. The fireplace should be opened up.



Fireplace in Head Teacher's office showing infill from 20th century electric fire



Fireplace in deputy rector's office which has areas of chipping to marble

There are double doors separating these three rooms that are raised and fielded with panelling in the small lobbies between. The most easterly of these has been blocked up to form a cupboard. This cupboard detracts from the architectural significance of these rooms and should be removed, reinstating the doors and panelling.



Double door separation intact



Double door separation blocked off behind to form cupboard

The decorative plasterwork, architraves and ceiling to the main room are in good condition and are significant to the building. The fluted pilasters with Ionic columns are one of the few remaining original features left within Bruntsfield House. The colour scheme of the decoration to the three main rooms on the first floor back should be reinstated back to the original or at least to one more in keeping with their period.



Ornate plasterwork in main room



Ionic column detail (main room)



Head Teacher's offices having panelling, cornice and fielded doors.



Timber panelling (main room)

The majority of the windows have panelled ingoes and evidence of shutters. In the first floor corridor one of the windows has tongue and groove panelling to one side and raised and fielded to the other. This should be left as is as it is part of the evolution of the house.



Typical panelling to ingoes with shutters



Example of window with mix of tongue & groove and raised and fielded panelling

On the Whitehouse Loan wall the furthest south gateway is not in use. The ashlar gatepiers with pyramidal caps have timber gates that are in a poor state of repair. There is ivy growth to the internal face of these. This plant growth should be removed and the condition of the stone and mortar assessed. Adjacent to the pier there are areas of loose stonework, and many of the edges to the dressed stone of the piers are chipped and damaged.



Disused gateway, Whitehouse Loan



Damage to ashlar gate pier

Moving northwards along this boundary there is evidence of a lodge or gatehouse by the main driveway. Some areas of wall in this location do not have a proper cope – it appears as if the walls of the building have been taken down to lintol level of the ground floor windows and door. The windows and door opening have been blocked up with stone. Its important to retain features like this, which give an indication of previous building on the site and therefore its evolution. In places this wall has areas of loose and missing mortar. There is also a self-seeded Whych Elm that is very close to this wall and requires to be removed or at least monitored to ensure its roots do not undermine the wall.



Whitehouse Loan boundary showing evidence of old lodge and issue with Whych Elm tree





Graffiti to wall



Evidence of old lodge in boundary wall

There is evidence of graffiti on this wall that should be removed to prevent encouraging any further vandalism. The main gate, noted in the Historic Scotland listing as being a studded timber gate with wrought iron hinges, is missing. This should be reinstated. The head of the pedimented round arched roll moulded gateway had plant growth on the school side that should be removed. The metalwork should be retained and brushed down and repainted to prevent further deterioration. The painted metal pedestrian gate is not original, but is of a simple design and can be retained.



Gateway as existing





Gateway in July 2010 with timber gate in place



Close up of ferramenta (metalwork)

The remainder of the wall along Whitehouse Loan remains as a high coped rubble boundary wall. A wide gateway has been formed to the north as an access to the primary school. It also has ashlar gatepiers with pyramidal caps. It's likely they were existing and relocated when the primary school was built to give a wider entrance. It is unfortunate that this opening in the wall only affords a view to the side elevation of the primary school and the plant area. The condition of these is satisfactory, although there is a large chip off the right hand side cap. This should be monitored but at present appears and there is no need to replace the cap.



Side entrance to Primary School



To the school side of this wall, at the junction with Warrender Park Road, there are three stone plaques and a trefoil in the wall. These have the crest of the Warrender family on them and the date 1875. They are in good condition and would have been part of a previous building on the site. They should be retained in their current location. On the street side of this wall at this corner there is a large crack running the height of the wall and the cope. This should be repaired to prevent any further deterioration of the wall in this location. It is not visible on the school side.



Plaques in wall



Cracks through wall



Moving round on the Warrender Park Road there is a large crack at the corner of the wall running down through the cope to about half way down the wall. This needs to be repaired to prevent any further deterioration of the wall in this location. It does not appear to penetrate the full width of the wall, as it is not visible on the school side. There is another plaque on this boundary wall, again only visible from the school side.



Plaque in wall to north boundary



A new gateway for pedestrian entrance to the primary school was formed when the school was built. Its style matches that of the other ashlar gatepiers with pyramidal caps. The high boundary wall slopes down to meet this lower level and continues at that height along the boundary. The metal gates are simple in style and painted metal. They should be retained if this gateway is retained.



Pedestrian gateway to Primary School



As this wall moves east there is evidence that it has been extensively repointed with a cement based mortar that has caused a disparity in weathering between it and the stonework. This is most evident in the upper areas that are predominately red sandstone. The mortar should be replaced with a lime based mortar and stones that have deteriorated need to be replaced or new cut in. There is an area of graffiti about halfway along its length that should be removed. There is also evidence that the mature Sycamore in this location has caused some movement in the wall. This should be monitored but at this stage there is no indication that it is of a level that would require the tree to be removed. The coping stones at this point have lost some of their mortar and would benefit from repointing.

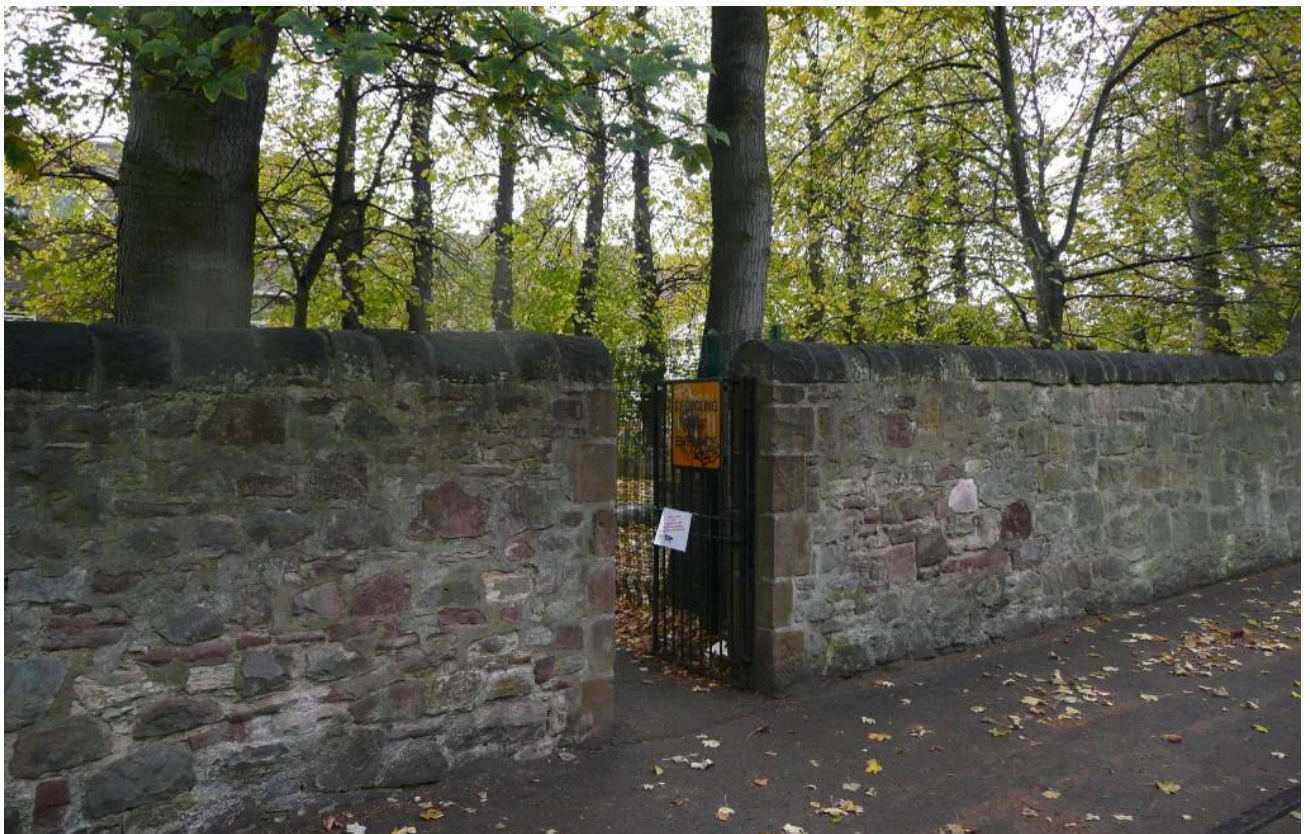


Damage to stonework and copes on north boundary wall





Damage to stonework and copes on north boundary wall



Directly opposite the junction with Marchmont Street there is newer vehicular access gateway to a recycling area. This has just been cut into the wall and no gatepier details have been introduced. The right hand side of the wall, when viewed from inside the site, has four large metal straps that have been installed to support the wall. The wall in this area needs to be made good. If this entrance is to remain as any form of main entry into the site then it should have ashlar gatepiers with pyramidal caps.



Vehicular entrance to north boundary wall



Metal straps to strengthen wall

Towards the east end of this wall, at the Lauderdale Street end, there are some areas of dislodged and missing stonework. These need to be replaced. The wall is at its lowest at this point, having sloped down a couple of courses at the start of the outdoor pitch.



Dislodged and missing stones



Once on Lauderdale Street the wall drops its height again to about 1m along its length, and it has wide horizontal timber fencing above. In general this later section of wall is in good condition although the concrete copes have not worn well. There should be stone copes to the wall to maintain its integrity with the rest of the boundary. As these would be an obvious later addition they do not have to be half barrelled. Between the wall and the outdoor pitch there are a number of Birch trees that have been planted between the fence and the wall. It is likely that as they mature they will affect the wall, although there is no evidence of this at present.



Drop in height at north end of Lauderdale Street



Birch trees between fence and boundary wall.

The south end of this wall is considerably higher and constructed from stone that has evidently been previously installed in another structure such as a small building. Some of the stones have evidence of metalwork and also they are dressed. This wall and its construction should be retained.



Higher boundary wall to south of Lauderdale Street





Dressed stones and evidence of metalwork



The boundary with the tenements to the south should be retained as is. The condition of this random rubble wall currently shows no signs for concern.



Boundary Walls to tenement gardens

The wall that bounds the driveway to the school from Whitehouse Loan is a high coped rubble wall. They have an interesting pyramidal mortar cope detail. In areas this is deteriorating badly due to plant growth. The roots of nearby trees undermining it have also affected the wall. There are areas where there are stones and sections of cope missing. This needs to be repaired and new stones and lime mortar reinstated.



Boundary wall to driveway



Area of stone affected by incorrect mortar



Missing stone and copes to driveway boundary





Plant growth affecting pyramidal mortar cope



To the right of the arch to the school there is a small walled garden. It appears to have been formed from the walls of a small ruined building. The wall here has undergone some works in the past, most noticeably the introduction of a concrete lintol with brick infill to the entrance. This area is interesting within the landscape of the site and the wall should be repointed and the entranceway made good in stone to match original. Items like the low level window opening also add interest and are part of the history of the site. The bars to it need repainting and repositioning, and the timber frame should be replaced and painted to protect it.



Walls to Alison Laidlaw Memorial garden



Plant growth in wall



Bars to old window opening

There is damage to some of the stones forming the archway at Bruntsfield House. These need to be repaired/ replaced and missing stone beneath the cope reinstated.



Archway leading to Bruntsfield House





Damage to arch connecting to Bruntsfield House

Buildings such as the boiler house and nursery are of no significance and can be removed. The primary school is of neutral architectural merit. Painting it a colour more in keeping with the historic structures on the site could soften the white render to its upper level. This would also minimise its impact when seen from outside the site in the wider Conservation Area.



Boiler house to the north of the site

5.3 Demolitions

The demolitions on the site should be focused on those buildings which are not outstanding examples of their period and which detract from those that are important to the historical evolution of the site. In summary the following could be considered for removal:

- Primary School
- Nursery School
- Boiler House
- External Plant
- Outdoor pitch
- 1960's school buildings, including 1980's extensions
- Non spiral stairs within Bruntsfield House
- Timber fencing to Lauderdale Street
- Vehicular access gateway to east end of Warrender Park Road
- Timber fencing within site acting as boundaries between various zones.

In relation to landscape the following could be considered for removal:

- Any self seeded trees less than 100mm diameter of trunk
- Any trees that are diseased or in a dangerous condition, or that have a degree of imperfection that may make them potentially hazardous.
- Any trees that threaten the integrity of the boundary wall or Bruntsfield House.
- Any stumps that have not been effectively killed and regrowth has occurred.
- Any tree that affects the integrity of a better performing adjacent tree.
- Any trees to east and south boundary or in existing courtyards (however consideration should be given to retain mature of significance trees and replanting any removed to ensure overall the site does not result in having less trees due to development.

5.4 Other areas for research

Basic archive and visual site research have been undertaken for this study. There have been discussions with JM Architects and the Curator of Archaeology. The outcome of those discussions and an agreed plan of action in relation to archaeological investigations on the site have still to be confirmed by the client. Recommendations from the Curator of Archaeology is that it's essential that prior to submission of Planning applications that an archaeological risk based assessment linked to a walk-over survey, historic building assessment and evaluation are undertaken in order to develop mitigations that will not only ensure that the correct levels of preservation and/or excavations and recording but also in terms of interpretation and education. He has noted particular concern of potential impacts in terms of changing levels to the open courtyard areas surrounding Bruntsfield House. If significant archaeology is found then this could lend itself to an opportunity to interpret their layout in the finished designs. He has requested that new development is set to better respect Bruntsfield House and to lose the existing connecting walkway along with introducing views to the house, in particular the front.

Will Rudd Davidson were undertaking some structural investigations to Bruntsfield House during the week commencing 18 October 2010. The report of their findings is awaited. It will be reviewed and any appropriate information included in the conservation plan. To date they have advised no areas of significant issues have been discovered.

It is our understanding that a rot survey is also being undertaken on Bruntsfield House, however the findings are not available at this time.

In relation to Bruntsfield House it would be prudent to have a specialist roofing and stonework contractor review the condition of the stonework, roof coverings, flashings and rainwater goods to recommend any areas of repair/replacement.

In relation to the boundary wall areas of cracking should be investigated further by a structural engineer. The areas of damaged and missing stonework should be reviewed by a stonework specialist for advise on best practice for repair/ reinstatement. Analysis of the mortar by the Scottish Lime Centre should be considered, especially in relation to repairs.

5.5 Key Recommendations

- Bruntsfield House is the most significant building on the site. Areas of plant growth and fencing that currently prevent this being viewed to its best advantage should be removed.
- The link to Bruntsfield House from the assembly block should be removed and the sash and case window on this elevation reinstated.
- Internally the three main historic rooms on the first floor should be repaired and retained. This includes the reinstatement of 12 pane sash and case windows to the largest room. Consideration should be given to reinstating their original colour scheme in these areas and the double door separation between rooms.
- Alterations to the interior of the house should focus on improving circulation and retaining the character and layout of the original building as much as possible.
- The boundary walls should be repaired where necessary and the gates from Whitehouse Loan reinstated.
- Any repair or restoration work should be properly recorded.
- A full photographic survey should be done on any buildings that are demolished. It should also be ensured that there are accurate plans and elevations of these buildings for archive purposes prior to demolition.
- Location of any new buildings on the site should not block views to Bruntsfield House from key vistas.
- A reference to recent developments on the site should be considered (i.e. reuse of clock face).
- The landscaping should be respected and the areas of trees to the north and west of the site retained as much as possible. The avenue from Whitehouse Loan is of particular importance.
- The location of buildings on site should respect the history of the site of formal gardens and courtyards, creating a series of interlinking out door spaces that contain trees and other landscape features of interest.
- Any new buildings on the site must respect the scale and materials of the listed buildings. In particular views to Bruntsfield House must not be compromised.
- Any development on the site should be considered in the context of the wider conservation area character.

The purpose of this Conservation Plan is to detail the context of the site to allow future proposals for its development to be assessed in relation to its historic significance. Any constraints and guidelines should not be considered as absolute and discussion in relation to changes that deviate from them can be undertaken with the relevant authorities to allow them to be assessed on their individual merit.